Appendix C. I-30 East Corridor Survey Forms (2020-2023)

Note that this survey form set compiles forms collected during four different recent surveys – the HNTB 2020 survey of the I-30 Canyon corridor, the HHM 2022 survey of Downtown Dallas and Deep Ellum, the HNTB 2022 draft survey of the I-30 East corridor, and the HHM 2023 survey update of the I-30 East corridor. The survey forms are sorted in order the HHM 2023 Resource Number, with resource numbers matching the inventory in Appendix B and maps in Appendix D. Older survey forms have been updated to include the HHM 2023 Resource Number for clarity.

Survey Date:	1/20/2021 (HHM)	
Resource No:	**1 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	2821 ST LOUIS ST, 32.780824000000003/ -96.781758999999994239	
Function/ Subfunction:	Commercial	Store
Form:	Rectangular	
Stylistic Influence(s):	Commercial	
Construction Date:	1937 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	Downtown Dallas & Deep Ellum (HHM, 2021) (Not eligible)	
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks integrity	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	Storefronts replaced, new openings added to façade, fenestration pattern altered	Multiple additions
Integrity Notes:		
Effect:	None	

Resource No. 1	***See photos on following pages.***

2821 ST LOUIS ST

HHM ID No. 1 (2023)

IDENTIFICATION

Address	2821 ST LOUIS ST	Legal Description	INT201800153893 DD06082018 CO-DC BLK 11/193 LT 8A ACS 0.92 DEEP ELLUM BREWING COMPANY 0193 011 08A00 7DA0193 011
City Council District	District 2	CAD Parcel ID	000193001108A0000

CLASSIFICATION

Resource Type	Building	Current Use	Commercial
Property Type	Store	Historic Use	Commercial
Form/Plan	One-part commercial block		

ARCHITECTURAL DETAILS

Stylistic Influence(s)	Commercial	Exterior Material(s)	
No. Stories		Exterior Features	
Ground-Level Bays		Upper-Level Bays	

ROOF

Roof Form/Type	
Roof Materials	
Parapet	

DOORS AND WINDOWS

Door Type(s)	
Door Material(s)	
Door Features	
Storefront	
Window type(s)	
Window Material(s)	
Window Features	

ANCILLARY BUILDINGS AND LANDSCAPE

Ancillary Buildings	
Landscape Features	

HHM Survey of Downtown and Deep

HISTORY

Current Name	DEEP ELLUM BREWING COMPANY	Historic Name	
Year Built	1937	Architect	
Source Year Built	DCAD 2021	Builder	
Associated People			
Historical Significance			
Associated Historic Context Theme(s)			
Historical Sources			

INTEGRITY

Alterations	Storefronts replaced, New openings added to facade, Fenestration pattern altered	Relocation	
Additions	Rear addition, Side addition		

PRIOR DOCUMENTATION

Designation(s)	
Designation Name(s)	

LOCAL RECOMMENDATIONS

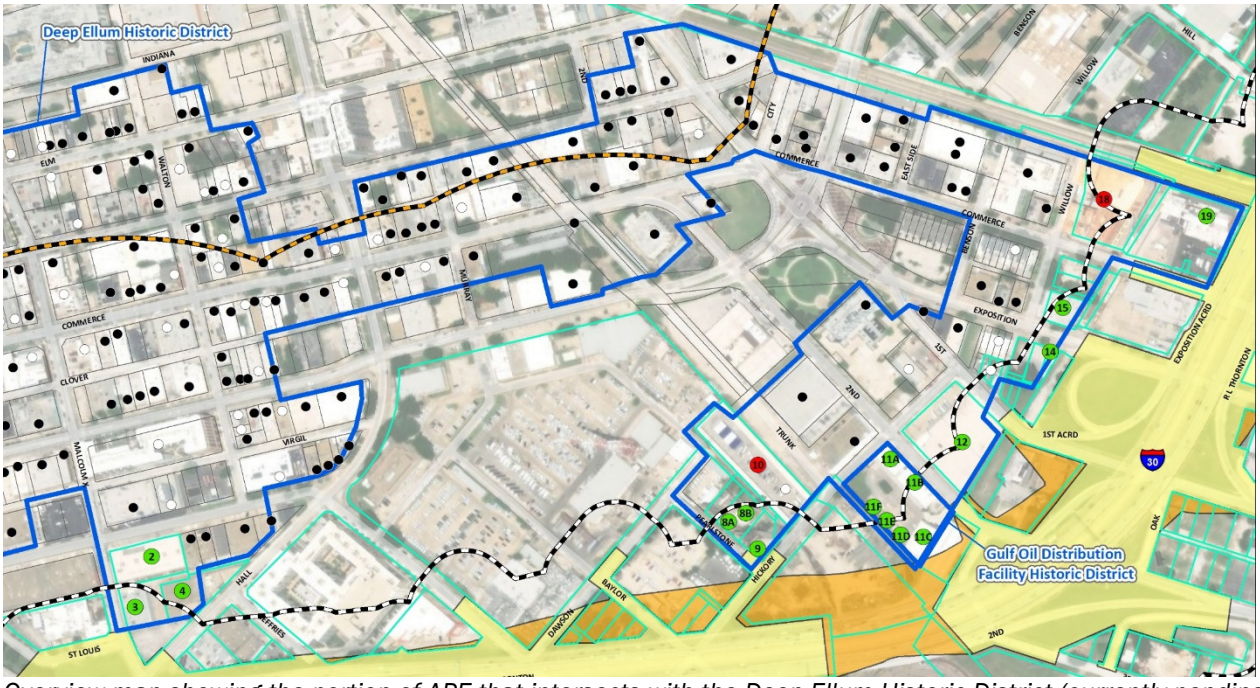
Recommendation	Not eligible
Justification	Lacks integrity
Potential District Name	
Status (N/C)	
Criteria	

NATIONAL REGISTER (NRHP) RECOMMENDATIONS

Recommendation	Not eligible
Justification	Lacks integrity
Potential District Name	
Status (N/C)	
Criteria	
Area of Significance	

HHM Survey of Downtown and Deep Ellum 2022

Survey Date:	1/12/2023 (HHM)
District Name:	**DEEP ELLUM HISTORIC DISTRICT (HHM)**
Resource Nos.:	**2, 3, 4, 8A-B, 9, 10, 11A-F, 12, 14, 14, 15, 18, 19**
Project Location:	Dallas County, Dallas District
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251
Rough Boundaries:	South Hall Street to the south, North Central Expressway to the east, Dallas Area Rapid Transit (DART) alignment and Elm Street to the north, and E. R. L. Thornton Freeway (IH 30) to the west.
Functions/ Subfunctions:	Commercial, Industrial/ Office, Restaurant, Theater, Auto Sales/Service
Forms:	One-part commercial block, Two-part commercial block
Stylistic Influence(s):	Commercial, Mid-century Modern
Construction Dates:	1872-2023 (NR nomination)
NRHP Eligibility:	Maintain previous NRHP listing
NR District, Status:	Deep Ellum,
Criteria, Notes:	Criterion A, Ethnic History, Commerce, Social History, Local level of significance; Period of significance 1872-1973
Alterations/ Additions:	See survey form (HHM Deep Ellum 2021)/
Integrity Notes:	
Effect:	*De minimis* encroachment at NRHP-listed Gulf Oil Distribution Facility at 501 S. 2nd Avenue (Resource IDs 11A-F)



Overview map showing the portion of APE that intersects with the Deep Ellum Historic District (currently pending NRHP listing). District boundary shown in blue, contributing resources within the APE are marked in green, noncontributing resources in the APE in red, and resources outside the APE in black. See Appendix D for a larger-scale map and legend.

Pending Deep Ellum NRHP Historic District, contextual photos (outside of APE).

Rail corridor, 3208 Commerce St.

2528 Elm St.

3200 Main St.

2551 Elm St.

3414 Elm St.

3816 Commerce St.

Deep Ellum Historic District, contextual photos (outside of APE).

2600 Block Elm St.

3018 Commerce St.

2814 Main St.

3418 Main St.

3713 Canton St.

210 S. Walton St.

Deep Ellum Historic District, contextual photos (outside of APE).

3200 Hickory St.

3800 Commerce St.

3117 Commerce St.

2921 Canton St.

3012 Commerce St.

3210 Main St.

Survey Date:	1/20/2021 (HHM)	
Resource No:	**2 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	2914 TAYLOR ST, 32.781402999999997/ -96.780852999999993240	
Function/ Subfunction:	Commercial	Warehouse, Store
Form:	Rectangular	
Stylistic Influence(s):	Modern Commercial	
Construction Date:	1947 (Appraisal district)	
Occupants/ History:		
Prior Designation:	Contributing to a Pending NRHP District (Deep Ellum Historic District)	
Prior Documentation:	Downtown Dallas & Deep Ellum (HHM, 2021) (Within eligible district)	
NRHP Eligibility:	Maintain previous NRHP listing	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Deep Ellum, Contributing	
Criteria, Notes:	Criterion A, Ethnic History, Commerce, Social History, Local level of significance	
Alterations/Additions:	Loading bay enclosed, windows partially infilled, doors replaced	
Integrity Notes:		
Effect:	None	

Resource No. 2	***See photos on following pages.***

2914 TAYLOR ST

HHM ID No. 2 (2023)

IDENTIFICATION

Address	2914 TAYLOR ST	Legal Description	CROWDUS & AKARD INT201800172916 DD06292018 CO-DC 0198 015 00700 1000198 015 BLK 15/198 LTS 7-10 & E 40FT 11
City Council District	District 2	CAD Parcel ID	1.04149e+11

CLASSIFICATION

Resource Type	Building	Current Use	Commercial
Property Type	Warehouse, Store	Historic Use	Commercial
Form/Plan	One-part commercial block		

ARCHITECTURAL DETAILS

Stylistic Influence(s)	Modern commercial	Exterior Material(s)	
No. Stories		Exterior Features	
Ground-Level Bays		Upper-Level Bays	

ROOF

Roof Form/Type	
Roof Materials	
Parapet	

DOORS AND WINDOWS

Door Type(s)	
Door Material(s)	
Door Features	
Storefront	
Window type(s)	
Window Material(s)	
Window Features	

ANCILLARY BUILDINGS AND LANDSCAPE

Ancillary Buildings	
Landscape Features	

HHM Survey of Downtown and De

HISTORY

Current Name	OPUS- 3 DATA CENTER FORMER YAHOO	Historic Name	
Year Built	1947	Architect	
Source Year Built	DCAD 2021	Builder	
Associated People			
Historical Significance			
Associated Historic Context Theme(s)			
Historical Sources			

INTEGRITY

Alterations	Windows partially infilled, Doors replaced	Relocation	
Additions			

PRIOR DOCUMENTATION

Designation(s)	
Designation Name(s)	

LOCAL RECOMMENDATIONS

Recommendation	Within district
Justification	Possesses integrity and contributes to district
Potential District Name	Deep Ellum
Status (N/C)	Contributing
Criteria	

NATIONAL REGISTER (NRHP) RECOMMENDATIONS

Recommendation	Within district
Justification	Possesses integrity and contributes to district
Potential District Name	Deep Ellum
Status (N/C)	Contributing
Criteria	
Area of Significance	

HHM Survey of Downtown and Deep Ellum 2022

Survey Date:	1/20/2021 (HHM)	
Resource No:	**3 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	2903 ST LOUIS ST, 32.780942000000003/ -96.781030999999999514	
Function/ Subfunction:	Commercial	Warehouse
Form:	Box	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1958 (Appraisal district)	
Occupants/ History:		
Prior Designation:	Contributing to a Pending NRHP District (Deep Ellum Historic District)	
Prior Documentation:	Downtown Dallas & Deep Ellum (HHM, 2021); I-30 East Corridor Project (HNTB, Sept. 2022, Resource #77) (Within eligible district; Contributing)	
NRHP Eligibility:	Maintain previous NRHP listing	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Deep Ellum, Contributing	
Criteria, Notes:	Criterion A, Ethnic History, Commerce, Social History, Local level of significance	
Alterations/Additions:	Loading bay enclosed, doors replaced	
Integrity Notes:		
Effect:	None	

Resource No. 3	***See photos on following pages.***

2903 ST LOUIS ST

HHM ID No. 3 (2023)

IDENTIFICATION

Address	2903 ST LOUIS ST	Legal Description	
City Council District	CROWDUS & AKARD BLK 15/198 LTS 13 INT201800172917 DD06292018 CO-DC 14 & PT LT 12 0198 015 01300 1000198 015 & ABND ROW ACS 0.731	CAD Parcel ID	SL4 DEEP ELLUM LP, STE 850, 100 CRESCENT CT STE 850, DALLAS, TEXAS, 752016904, UNITED STATES OF AMERICA

CLASSIFICATION

Resource Type	Commercial	Current Use	Building
Property Type	TECHNICAL BUILDING	Historic Use	Warehouse
Form/Plan	1958		

ARCHITECTURAL DETAILS

Stylistic Influence(s)	DCAD 2021	Exterior Material(s)	
No. Stories		Exterior Features	
Ground-Level Bays		Upper-Level Bays	

ROOF

Roof Form/Type	
Roof Materials	
Parapet	

DOORS AND WINDOWS

Door Type(s)	
Door Material(s)	
Door Features	
Storefront	
Window type(s)	
Window Material(s)	
Window Features	

ANCILLARY BUILDINGS AND LANDSCAPE

Ancillary Buildings	
Landscape Features	

HHM Survey of Downtown and Dee

HISTORY

Current Name		Historic Name	District 2
Year Built	0	Architect	
Source Year Built	Modern commercial	Builder	
Associated People			
Historical Significance			
Associated Historic Context Theme(s)			
Historical Sources			

INTEGRITY

Alterations		Relocation	
Additions			

PRIOR DOCUMENTATION

Designation(s)	Medium
Designation Name(s)	Within district

LOCAL RECOMMENDATIONS

Recommendation	
Justification	
Potential District Name	Contributing
Status (N/C)	Within district
Criteria	

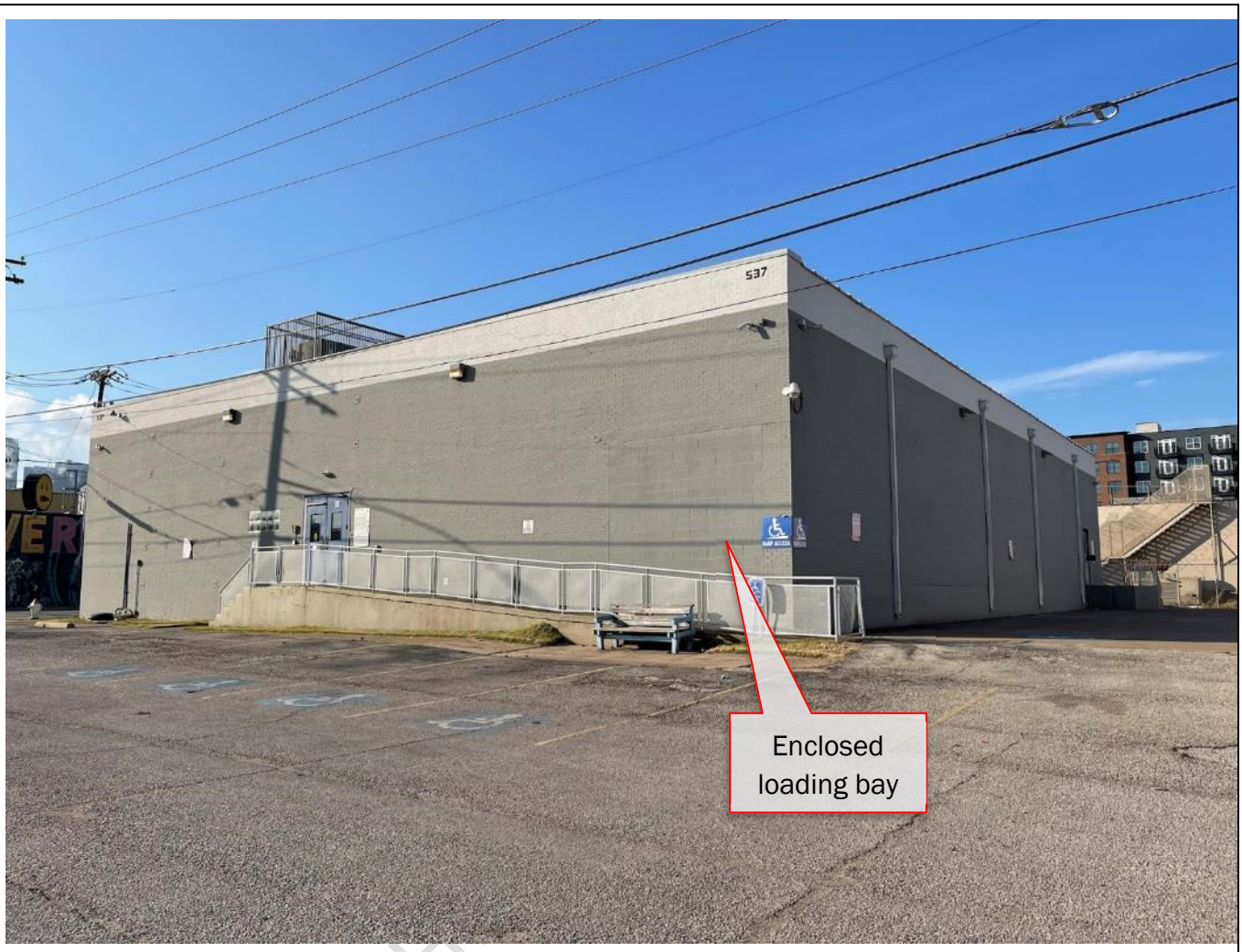
NATIONAL REGISTER (NRHP) RECOMMENDATIONS

Recommendation	
Justification	
Potential District Name	Doors replaced
Status (N/C)	
Criteria	
Area of Significance	

HHM Survey of Downtown and Deep Ellum 2022

Survey Date:	01/26/2022
Resource No:	3 (HHM) [77 (HNTB)]
Project Location:	Dallas
Project Name and CSJ:	0009-11-252
Address, Lat/Long:	2903 St. Louis Street; 32.780878, -96.781040
Function/Sub-function:	Commercial
Construction Date:	1958
NRHP Eligibility:	Recommended Contributing to the proposed Deep Ellum Historic District*
Integrity/Comments:	Resource 3 was surveyed as part of a City of Dallas historic resource survey of Downtown Dallas and the Deep Ellum neighborhood in 2021. The 2021 City of Dallas report has not yet received THC concurrence, but the report's findings were confirmed during survey for CSJ 0009-11-252. The draft 2021 report recommends Resource 3 as a contributing resource to the proposed Deep Ellum Historic District. The principal investigator and historians for CSJ 0009-11-252 agree with the findings of the draft report and have incorporated that report's information and eligibility recommendation into the survey form for Resource 3. Resource 3 is a small warehouse constructed of brick that has been non-historically painted. It has a flat roof with minimal coping, a concrete foundation, and no ornamentation or stylistic elements. The façade is simple and features only non-historic metal double doors with a single light each and a 5-over-2 glass block window. The doors are accessed by non-historic poured concrete stairs and a ramp with a non-historic metal railing. A section of concrete block on the north end of the façade indicates a service bay opening has been enclosed. A single, non-historic metal door with a single light is present on the north elevation. The west elevation features only a few small glass block windows, and no openings are present on the south elevation. Resource 3 retains integrity in the aspects of location, feeling, and association. It no longer retains integrity in the aspects of setting, materials, design, or workmanship. The construction of I-30 and the loss of a number of surrounding historic-age resources compromised its integrity in the aspect of setting. The replacement of its only doors with non-historic units and the enclosure of its single loading bay has compromised the resource's integrity of materials, design, and workmanship. It has not been moved from its original location and maintains integrity of location. Though altered, its minimal style and industrial form convey its original use as a warehouse, maintaining its integrity of feeling and association as a mid-20th century warehouse. Therefore, in agreement with the 2021 draft City of Dallas Downtown and Deep Ellum HRSR, Resource 3 is recommended as a contributing feature of the proposed Deep Ellum Historic District. The proposed NRHP-eligible boundary for Resource 3 conforms to the legal boundaries of DCAD parcel 00000104152000000.

HNTB Draft for September 2022



Resource 3 (HHM) [77 (HNTB)]: view of façade (south elevation) and west elevation showing non-historic railing and enclosed loading bay

HNTB Draft

Resource 3 (HHM) [77 (HNTB)]: view of south elevation

HNTB Draft

Survey Date:	1/20/2021 (HHM)	
Resource No:	**4 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	441 S HALL ST, 32.781089999999999/ -96.780520999999993241	
Function/ Subfunction:	Commercial	Warehouse, Store
Form:	One-part commercial block	
Stylistic Influence(s):	Mid-Century Modern	
Construction Date:	1969 (Appraisal district)	
Occupants/ History:		
Prior Designation:	Contributing to a Pending NRHP District (Deep Ellum Historic District)	
Prior Documentation:	Downtown Dallas & Deep Ellum (HHM, 2021) (Within eligible district)	
NRHP Eligibility:	Maintain previous NRHP listing	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Deep Ellum, Contributing	
Criteria, Notes:	Criterion A, Ethnic History, Commerce, Social History, Local level of significance	
Alterations/Additions:	Doors replaced	
Integrity Notes:		
Effect:	None	

Resource No. 4	***See photos on following pages.***

441 S HALL ST

HHM ID No. 4 (2023)

IDENTIFICATION

Address	441 S HALL ST	Legal Description	CROWDUS & AKARD ST LOUIS & HALL BLK 15/198 LOTS 15 & 16 0198 015 01500 1000198 015 INT201400114533 DD04302014 CO-DC
City Council District	District 2	CAD Parcel ID	1.04155e+11

CLASSIFICATION

Resource Type	Building	Current Use	Commercial
Property Type	Warehouse, Store	Historic Use	Commercial
Form/Plan	One-part commercial block		

ARCHITECTURAL DETAILS

Stylistic Influence(s)	Mid-century Modern	Exterior Material(s)	
No. Stories		Exterior Features	
Ground-Level Bays		Upper-Level Bays	

ROOF

Roof Form/Type	
Roof Materials	
Parapet	

DOORS AND WINDOWS

Door Type(s)	
Door Material(s)	
Door Features	
Storefront	
Window type(s)	
Window Material(s)	
Window Features	

ANCILLARY BUILDINGS AND LANDSCAPE

Ancillary Buildings	
Landscape Features	

HHM Survey of Downtown and Dee

HISTORY

Current Name	TRAVERTINE	Historic Name	
Year Built	1969	Architect	
Source Year Built	DCAD 2021	Builder	
Associated People			
Historical Significance			
Associated Historic Context Theme(s)			
Historical Sources			

INTEGRITY

Alterations	Doors replaced	Relocation	
Additions			

PRIOR DOCUMENTATION

Designation(s)	
Designation Name(s)	

LOCAL RECOMMENDATIONS

Recommendation	Within district
Justification	Possesses integrity and contributes to district
Potential District Name	Deep Ellum
Status (N/C)	Contributing
Criteria	

NATIONAL REGISTER (NRHP) RECOMMENDATIONS

Recommendation	Within district
Justification	Possesses integrity and contributes to district
Potential District Name	Deep Ellum
Status (N/C)	Contributing
Criteria	
Area of Significance	

HHM Survey of Downtown and Deep Ellum 2022

Survey Date:	1/20/2021 (HHM), 8/4/2020 (Canyon)	
Resource No:	**5 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	528 S HALL ST, 32.780599000000002/ -96.780237242	
Function/ Subfunction:	Commercial	Warehouse, Store
Form:	One-part commercial block	
Stylistic Influence(s):	Commercial	
Construction Date:	1972 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	IH 30 Canyon (2020), Downtown Dallas & Deep Ellum (HHM, 2021) (Not eligible (2020 & 2021))	
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 5	***See photos on following pages.***

Survey Date:	8/4/2020
Resource No:	5 (HHM) [16 (I-30 Canyon 2020)]
Project Location:	Dallas County
Project Name and CSJ:	IH 30 Canyon Improvements Project; 0009-11-254
Address, Lat/Long:	528 South Hall Street; 32.780603 -96.780228
Function/Sub-function:	Commercial/Warehouse
Construction Date:	1972, 2011
NRHP Eligibility:	Not Eligible
Integrity/Comments:	Resource 5 is a single-story building set on a concrete foundation. The building is clad in brick and features a flat roof. The southwest elevation features two garage bays with non- historic metal garage doors. The primary entry to the building is located on the northwest elevation and features a metal and glass door partially surrounded by rectangular metal and glass windows. On this same elevation, four window bays are obscured by a metal fence that extends past the roof. A non-historic metal garage addition is located off the southeastern elevation. Resource 5 retains integrity of location, association, feeling, and setting. The resource has not been moved and still operates as a commercial business in a mid-twentieth century setting. The resource does not retain integrity of materials, design, or workmanship as it features a non-historic garage addition and non-historic garage doors. Resource 5 does not appear to have an association with significant historical events or individuals. Therefore, Resource 5 is recommended not eligible under Criteria A or B. The property does not embody a distinctive architectural type or method of construction and features a non-historic addition and replacement garage doors. Therefore, the resource is not recommended eligible under Criterion C.

I-30 Canyon HRSR 2020

Resource 5 (HHM) [16 (I-30 Canyon 2020)]: view northeast showing southwest exterior

I-30 Canyon

Resource 5 (HHM) [16 (I-30 Canyon 2020)]: view southeast showing northwest exteriors

I-30 Canyon

528 S HALL ST

HHM ID No. 5 (2023)

IDENTIFICATION

Address	528 S HALL ST	Legal Description	BLK 3/203 PT LT 8 - 100X92.9X MOTLEYS 122.5X163.56 0203 003 00800 1000203 003 INT201100315109 DD11292011 CO-DC
City Council District	District 2	CAD Parcel ID	1.04302e+11

CLASSIFICATION

Resource Type	Building	Current Use	Commercial
Property Type	Warehouse, Store	Historic Use	Commercial
Form/Plan	One-part commercial block		

ARCHITECTURAL DETAILS

Stylistic Influence(s)	Commercial	Exterior Material(s)	
No. Stories		Exterior Features	
Ground-Level Bays		Upper-Level Bays	

ROOF

Roof Form/Type	
Roof Materials	
Parapet	

DOORS AND WINDOWS

Door Type(s)	
Door Material(s)	
Door Features	
Storefront	
Window type(s)	
Window Material(s)	
Window Features	

ANCILLARY BUILDINGS AND LANDSCAPE

Ancillary Buildings	
Landscape Features	

HHM Survey of Downtown and Dee

HISTORY

Current Name	KRISPIN WENDY CATERER	Historic Name	
Year Built	1973	Architect	
Source Year Built	DCAD 2021	Builder	
Associated People			
Historical Significance			
Associated Historic Context Theme(s)			
Historical Sources			

INTEGRITY

Alterations		Relocation	
Additions			

PRIOR DOCUMENTATION

Designation(s)	
Designation Name(s)	

LOCAL RECOMMENDATIONS

Recommendation	Not eligible
Justification	Not historic age
Potential District Name	
Status (N/C)	
Criteria	

NATIONAL REGISTER (NRHP) RECOMMENDATIONS

Recommendation	Not eligible
Justification	Not historic age
Potential District Name	
Status (N/C)	
Criteria	
Area of Significance	

HHM Survey of Downtown and Deep Ellum 2022

Survey Date:	1/20/2021 (HHM), 8/4/2020 (Canyon)	
Resource No:	**6 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	514 S HALL ST, 32.780698999999998/ -96.779928999999996243	
Function/ Subfunction:	Commercial	Warehouse, Store
Form:	One-part commercial block	
Stylistic Influence(s):	Commercial	
Construction Date:	1974 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	IH 30 Canyon (2020), Downtown Dallas & Deep Ellum (HHM, 2021) (Not eligible (2020 & 2021))	
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 6	***See photos on following pages.***

Survey Date:	8/4/2020
Resource No:	6 (HHM) [17 (I-30 Canyon 2020)]
Project Location:	Dallas County
Project Name and CSJ:	IH 30 Canyon Improvements Project; 0009-11-254
Address, Lat/Long:	514 South Hall Street; 32.780705 -96.77913
Function/Sub-function:	Commercial/Warehouse
Construction Date:	1974
NRHP Eligibility:	Not Eligible
Integrity/Comments:	Resource 6 is a single-story building set on a concrete foundation. The building features a pebbledash exterior and a flat roof. The northwest elevation features seven rectangular single pane replacement windows, and a replacement door partially surrounded by replacement rectangular windows. The northeast elevation features two historic-age garage bays with what appear to be the original metal garage doors, and 1 non-historic garage bay. Also featured on this elevation are two historic-age metal doors accessed by metal stairways and one non-historic door accessed by a non-historic ramp. A large non-historic 12-pane metal and glass picture window was also added to the northeast elevation around the same time period the non-historic garage bay and door were added (after 2017 based on Google Streetview). The southwest elevation is not visible as it is connected to Resource 179 and the southeast elevation features no windows, doors, or other architectural features. Resource 6 retains integrity of location, association, feeling, and setting. The resource has not been moved and still operates as a commercial business in a mid-twentieth century setting. The resource does not retain integrity of materials, design, or workmanship as it features non-historic window replacements, non-historic doors, and a non-historic garage bay. Resource 6 does not appear to have an association with significant historical events or individuals. Therefore Resource 6 is recommended not eligible under Criteria A or B. The property does not embody a distinctive architectural type or method of construction and features non-historic replacement windows, doors, and a non-historic garage bay. Therefore, the resource is not recommended eligible under Criterion C.

I-30 Canyon HRSR 2020

Resource 6 (HHM) [17 (I-30 Canyon 2020)]: northwest and northeast elevations, facing south

I-30 Canyon

Resource 6 (HHM) [17 (I-30 Canyon 2020)]: northwest elevation, facing east

I-30 Canyon

514 S HALL ST

HHM ID No. 6 (2023)

IDENTIFICATION

Address	514 S HALL ST	Legal Description	
City Council District	0203 003 00600 1000203 003 BLK 3/203 PT LTS 6 & 7 MOTLEYS ACS 0.5021 INT201600136907 DD05202016 CO-DC	CAD Parcel ID	DEEP ELLUM HALL LLC, % STILLWATER CAPITAL INVESTMENTS LLC, 4145 TRAVIS ST STE 300, DALLAS, TEXAS, 752041830, UNITED STATES OF AMERICA

CLASSIFICATION

Resource Type	Commercial	Current Use	Building
Property Type	DISTRIBUTION WAREHOUSE	Historic Use	Warehouse
Form/Plan	1974		

ARCHITECTURAL DETAILS

Stylistic Influence(s)	DCAD 2021	Exterior Material(s)	
No. Stories		Exterior Features	
Ground-Level Bays		Upper-Level Bays	

ROOF

Roof Form/Type	
Roof Materials	
Parapet	

DOORS AND WINDOWS

Door Type(s)	
Door Material(s)	
Door Features	
Storefront	
Window type(s)	
Window Material(s)	
Window Features	

ANCILLARY BUILDINGS AND LANDSCAPE

Ancillary Buildings	
Landscape Features	

HHM Survey of Downtown and Dee

HISTORY

Current Name		Historic Name	District 2
Year Built	0	Architect	
Source Year Built	Commercial	Builder	
Associated People			
Historical Significance			
Associated Historic Context Theme(s)			
Historical Sources			

INTEGRITY

Alterations		Relocation	
Additions			

PRIOR DOCUMENTATION

Designation(s)	Low
Designation Name(s)	Not eligible

LOCAL RECOMMENDATIONS

Recommendation	
Justification	
Potential District Name	
Status (N/C)	Not eligible
Criteria	Not historic age

NATIONAL REGISTER (NRHP) RECOMMENDATIONS

Recommendation	
Justification	
Potential District Name	
Status (N/C)	
Criteria	
Area of Significance	

HHM Survey of Downtown and Deep Ellum 2022

Survey Date:	1/19/2021 (HHM)	
Resource No:	**7A (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3131 DAWSON ST, 32.783234999999998/ -96.776786999999999146	
Function/ Subfunction:	Governmental	Government complex
Form:	Rectangular	
Stylistic Influence(s):	Contemporary	
Construction Date:	1981 (Historic aerials)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	Downtown Dallas & Deep Ellum (HHM, 2021) (Not eligible)	
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Not historic-age	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 7A	***See photos on following pages.***

3131 DAWSON ST

HHM ID No. 7A (2023)

IDENTIFICATION

Address	3131 DAWSON ST	Legal Description	CHESTNUT & T & N O RR 0201 08A 000 1DA0201 08A BLK 8A/201 18.667 AC CANTON-HALL CENTRAL SERVICE CENTER
City Council District	District 2	CAD Parcel ID	1.042455e+11

CLASSIFICATION

Resource Type	Building	Current Use	Governmental
Property Type	Government complex	Historic Use	Governmental
Form/Plan	Multiple buildings		

ARCHITECTURAL DETAILS

Stylistic Influence(s)	Contemporary	Exterior Material(s)	
No. Stories		Exterior Features	
Ground-Level Bays		Upper-Level Bays	

ROOF

Roof Form/Type	
Roof Materials	
Parapet	

DOORS AND WINDOWS

Door Type(s)	
Door Material(s)	
Door Features	
Storefront	
Window type(s)	
Window Material(s)	
Window Features	

ANCILLARY BUILDINGS AND LANDSCAPE

Ancillary Buildings	
Landscape Features	

HHM Survey of Downtown and Dec

HISTORY

Current Name	CENTRAL SERVICE CENTER	Historic Name	
Year Built	1983	Architect	
Source Year Built	DCAD 2021	Builder	
Associated People			
Historical Significance			
Associated Historic Context Theme(s)			
Historical Sources			

INTEGRITY

Alterations		Relocation	
Additions			

PRIOR DOCUMENTATION

Designation(s)	
Designation Name(s)	

LOCAL RECOMMENDATIONS

Recommendation	Not eligible
Justification	Not historic age
Potential District Name	
Status (N/C)	
Criteria	

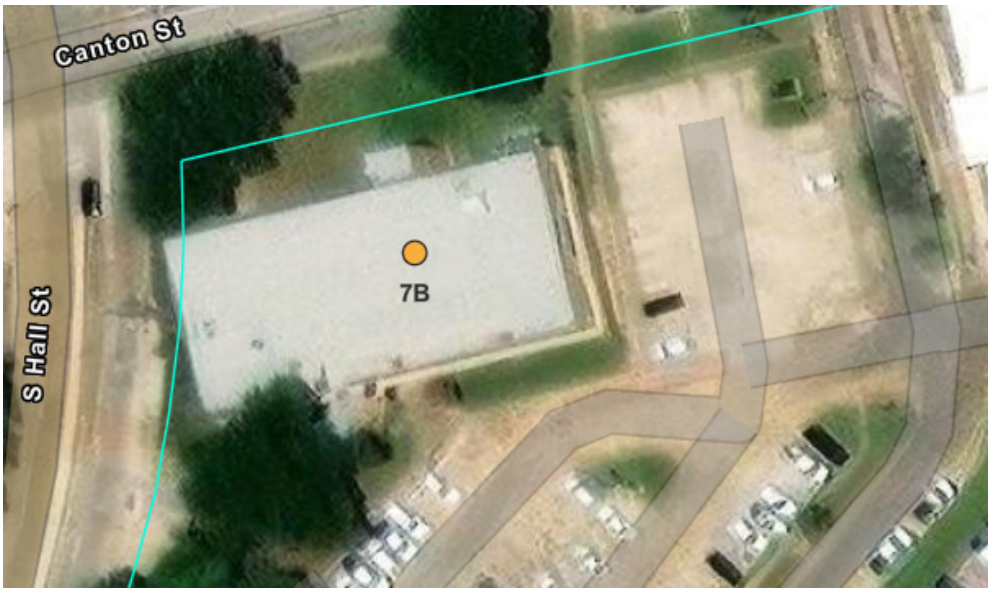
NATIONAL REGISTER (NRHP) RECOMMENDATIONS

Recommendation	Not eligible
Justification	Not historic age
Potential District Name	
Status (N/C)	
Criteria	
Area of Significance	

HHM Survey of Downtown and Deep Ellum 2022

Survey Date:	1/19/2021 (HHM)	
Resource No:	**7B (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3131 DAWSON ST, 32.783016000000003/ -96.777876000000006145	
Function/ Subfunction:	Governmental	Government complex
Form:	Rectangular	
Stylistic Influence(s):	Contemporary	
Construction Date:	1981 (Historic aerials)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	Downtown Dallas & Deep Ellum (HHM, 2021) (Not eligible)	
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Not historic-age	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Aerial photo of Resource No. 7B (3131 Dawson Street). Resource was not photographed during the HHM 2021-2022 Downtown and Deep Ellum survey because it post-dated the cutoff period for that survey (1974).



Survey Date:	1/19/2021 (HHM)	
Resource No:	**7C (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3131 DAWSON ST, 32.782192999999999/ -96.778229999999994144	
Function/ Subfunction:	Governmental	Government complex
Form:	Rectangular	
Stylistic Influence(s):	Contemporary	
Construction Date:	1981 (Historic aerials)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	Downtown Dallas & Deep Ellum (HHM, 2021) (Not eligible)	
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Not historic-age	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Aerial photo of Resource No. 7C (3131 Dawson Street). Resource was not photographed during the HHM 2021-2022 Downtown and Deep Ellum survey because it post-dated the cutoff period for that survey (1974).

Survey Date:	1/19/2021 (HHM)	
Resource No:	**7D (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3131 DAWSON ST, 32.782107000000003/ -96.777435999999994143	
Function/ Subfunction:	Governmental	Government complex
Form:	Rectangular	
Stylistic Influence(s):	Contemporary	
Construction Date:	1981 (Historic aerials)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	Downtown Dallas & Deep Ellum (HHM, 2021) (Not eligible)	
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Not historic-age	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Aerial photo of Resource No. 7D (3131 Dawson Street). Resource was not photographed during the HHM 2021-2022 Downtown and Deep Ellum survey because it post-dated the cutoff period for that survey (1974).

Survey Date:	1/19/2021 (HHM)	
Resource No:	**7E (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3131 DAWSON ST, 32.781374/ -96.776719999999997142	
Function/ Subfunction:	Governmental	Government complex
Form:	Rectangular	
Stylistic Influence(s):	Contemporary	
Construction Date:	1981 (Historic aerials)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	Downtown Dallas & Deep Ellum (HHM, 2021) (Not eligible)	
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Not historic-age	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

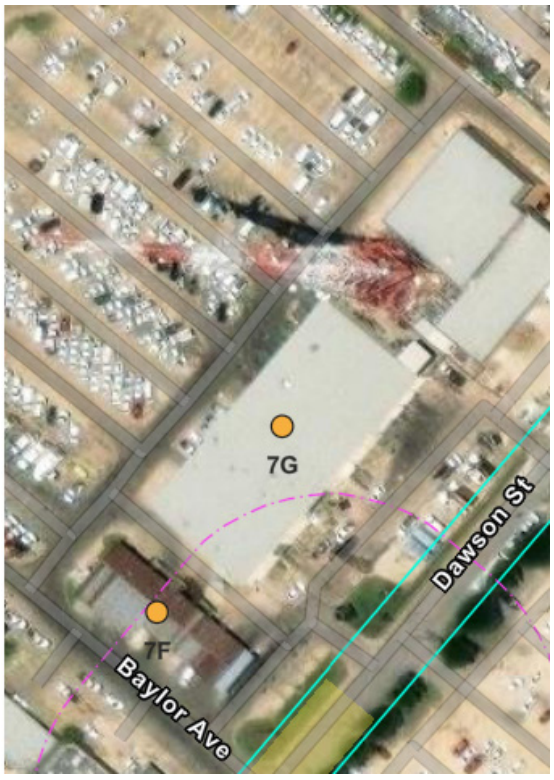
Aerial photo of Resource No. 7E (3131 Dawson Street). Resource was not photographed during the HHM 2021-2022 Downtown and Deep Ellum survey because it post-dated the cutoff period for that survey (1974).

Survey Date:	1/19/2021 (HHM)	
Resource No:	**7F (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3131 DAWSON ST, 32.781643000000003/ -96.776278000000005132	
Function/ Subfunction:	Governmental	Government complex
Form:	Rectangular	
Stylistic Influence(s):	Contemporary	
Construction Date:	1981 (Historic aerials)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	Downtown Dallas & Deep Ellum (HHM, 2021) (Not eligible)	
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Not historic-age	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Aerial photo of Resource No. 7F (3131 Dawson Street). Resource was not photographed during the HHM 2021-2022 Downtown and Deep Ellum survey because it post-dated the cutoff period for that survey (1974).

Survey Date:	1/19/2021 (HHM)	
Resource No:	**7G (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3131 DAWSON ST, 32.782057999999999/ -96.775944999999993141	
Function/ Subfunction:	Governmental	Government complex
Form:	Rectangular	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1981 (Historic aerials)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	Downtown Dallas & Deep Ellum (HHM, 2021) (Not eligible)	
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Not historic-age	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Aerial photo of Resource No. 7G (3131 Dawson Street). Resource was not photographed during the HHM 2021-2022 Downtown and Deep Ellum survey because it post-dated the cutoff period for that survey (1974).



Survey Date:	1/13/2023	
Resource No:	**8A (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	1622 PEARLSTONE ST, 32.781717/ -96.774597999999997131	
Function/ Subfunction:	Industrial	Mill/warehouse
Form:	Irregular	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1924 (Appraisal district)	
Occupants/ History:		
Prior Designation:	Contributing to a pending NRHP district (Deep Ellum Historic District)	
Prior Documentation:	I-30 East CorridorProject (HNTB, Sept. 2022, Resource #9) (Eligible)	
NRHP Eligibility:	Individually eligible for NRHP, Maintain previous NRHP listing	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Deep Ellum, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Ethnic History, Commerce, Social History, Architecture, Industry, Local level of significance	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 8A	***See photos on following pages.***

Survey Date:	1/13/2023	
Resource No:	**8B (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	1622 PEARLSTONE ST, 32.781796/ -96.774410000000003130	
Function/ Subfunction:	Industrial	Mill/warehouse
Form:	Irregular	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1924 (Appraisal district)	
Occupants/ History:		
Prior Designation:	Contributing to a pending NRHP district (Deep Ellum Historic District)	
Prior Documentation:	I-30 East Corridor Project (HNTB, Sept. 2022, Resource #9) (Eligible)	
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Deep Ellum, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Ethnic History, Commerce, Social History, Local level of significance	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

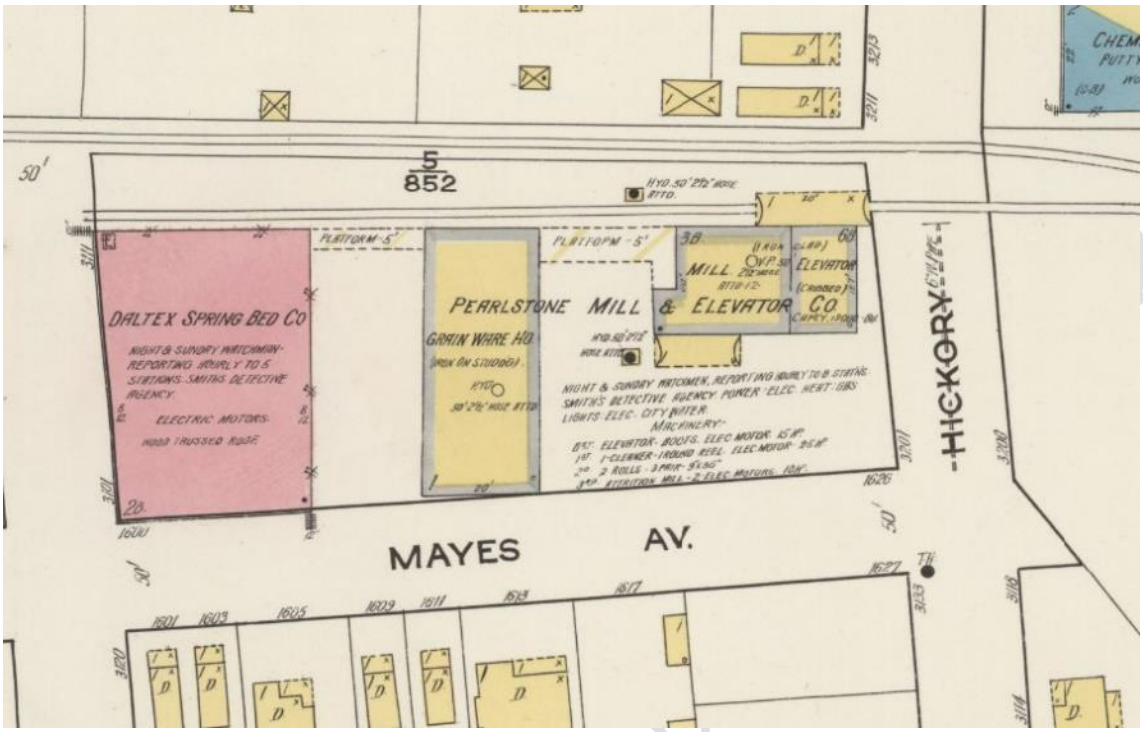
Resource No. 8B	***See photos on following pages.***

Survey Date:	12/27/2022	
Resource No:	**9 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3200 HICKORY ST, 32.781472999999998/ -96.774286000000004528	
Function/ Subfunction:	Industrial	Warehouse
Form:	Irregular	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1924 (Appraisal district)	
Occupants/ History:		
Prior Designation:	Contributing to a pending NRHP district (Deep Ellum Historic District)	
Prior Documentation:	I-30 East Corridor Project (HNTB, Sept. 2022, Resource #9) (Eligible)	
NRHP Eligibility:	Individually eligible for NRHP, Maintain previous NRHP listing	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Deep Ellum, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Ethnic History, Commerce, Social History, Industry, Local level of significance	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 9	***See photos on following pages.***

Survey Date:	01/25/2022
Resource No:	8A, 8B, and 9 (HHM) [09 (HNTB)]
Project Location:	Dallas
Project Name and CSJ:	I-30 East Corridor Project; 0009-11-252
Address, Lat/Long:	1622 Pearlstone Street; 32.781433, -96.774280 3200 Hickory Street; 32.781547, -96.778129
Function/Sub-function:	Light Industrial
Construction Date:	1928
NRHP Eligibility:	Eligible; see HHM 2023 survey form (also contributing to Deep Ellum Historic District)
Integrity/Comments:	Resources 8A, 8B, and 9 were surveyed as part of a City of Dallas historic resource survey of Downtown Dallas and the Deep Ellum neighborhood in 2021 and was recommended eligible under Criterion A for Industry and Criterion C for Architecture. The 2021 City of Dallas report has not yet received THC concurrence, but the report's findings and eligibility determination for Resource 9 were confirmed during survey for TxDOT Project CSJ 0009-11-252. The principal investigator and historians for CSJ 0009-11-252 agree with the findings of the draft report and have incorporated that report's information and eligibility recommendations into the survey form for Resource 9. Resources 8-9 encompass a multi-story complex comprised of grain warehouses, grain tanks, and grain elevator built in 1928 by the Pearlstone Mill & Elevator Company. It is constructed of cast-in-place concrete and has a flat roof. The form is irregular and consists of numerous adjoining cylinders (grain tanks), a rectangular tower (grain elevator), and smaller accessory structures (warehouses). Solid metal hatches and metal-framed windows are scarce, but present on the resource. No doors were observed. The historic-age "PEARLSTONE" painted signs are still visible at the top of the grain elevator. A 1950 Sanborn map and historic aerial photography show that some associated buildings, including a large brick and wood post grain warehouse at the rear of the parcel, have been demolished over time. Additionally, a historic-age, multi-story building that the 1950 Sanborn Map identifies as a grain warehouse has been renovated with entirely non-historic materials, including stucco cladding and what appear to be vinyl or fiberglass casement windows. The original Pearlstone Mill & Elevator Co. building on this site was built sometime between 1905 and 1921 as an iron clad frame building. According to an October 25, 1921, Dallas Times Herald article, the building caught fire and was destroyed leaving only a warehouse and the grain elevator. The complex was rebuilt in 1928 of fireproof construction. It is unknown when the Pearlstone Mill closed, but it is not currently used as a grain mill or elevator and has not been for some time. Resources 8-9 retain all aspects of integrity other than setting. The construction of I-30 and the loss of a number of surrounding historic-age resources, including a rail line that originally served the resource, has compromised its integrity in the aspect of setting. It has not been moved from its original location and has not been significantly altered. As such, the majority of its historic-age materials, design, and evidence of workmanship are intact. Its distinct industrial form conveys its original use and maintains its integrity of feeling and association as an early-20th century grain mill and elevator. Therefore, the resources are recommended eligible under Criterion A for Industry and under Criterion C for Architecture. Resources 8-9 do not appear to have an association with individuals important to development of Dallas, Texas. Therefore, Resources 8-9 are not recommended eligible for the NRHP under Criterion B. The proposed NRHP-eligible boundary for Resources 8-9 conforms to the legal parcel boundaries of DCAD parcels 00085300000010000, 00000129684000000, 00000129683000000, and 00000129682000000.

HNTB Draft for TxDOT Review September 2022



Resource 8A, 8B, and 9 (HHM) [09 (HNTB)]: 1921 vol. 1 Sanborn Map showing original building, sheet 100
Source: Library of Congress

Resource 8A, 8B, and 9 (HHM) [09 (HNTB)]: 1950 vol. 1 Sanborn Map showing 1928 building, sheet 100
Source: Library of Congress

Resource 8A, 8B, and 9 (HHM) [09 (HNTB)]: view of grain tanks, facing north

HNTB Draft

Resource 8A, 8B, and 9 (HHM) [09 (HNTB)]: view of grain elevator and renovated grain warehouse, facing west

HNTB Draft

Survey Date:	10/24/22 (HHM)	
Resource No:	**10 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3215 HICKORY ST, 32.782238/ -96.774281000000002244	
Function/ Subfunction:	Commercial	Storage
Form:	U-plan	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	2004 (Appraisal district)	
Occupants/ History:		
Prior Designation:	Noncontributing to a Pending NRHP District (Deep Ellum Historic District)	
Prior Documentation:	Downtown Dallas & Deep Ellum (HHM, 2021) (Within eligible district)	
NRHP Eligibility:	Maintain previous NRHP listing	
Justification:	Not historic-age	
NR District, Status:	Deep Ellum, Noncontributing	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		
Integrity Notes:	Limited visibility from ROW (tall concrete wall)	
Effect:	None	

Aerial photo of Resource No. 10 (3215 Hickory St.).

3215 HICKORY ST

HHM ID No. 10 (2023)

IDENTIFICATION

Address	3215 HICKORY ST	Legal Description	Low
City Council District	DALLAS	CAD Parcel ID	TX

CLASSIFICATION

Resource Type	Current Use
Property Type	Historic Use
Form/Plan	

ARCHITECTURAL DETAILS

Stylistic Influence(s)	Exterior Material(s)
No. Stories	Exterior Features
Ground-Level Bays	Upper-Level Bays

ROOF

Roof Form/Type
Roof Materials
Parapet

DOORS AND WINDOWS

Door Type(s)
Door Material(s)
Door Features
Storefront
Window type(s)
Window Material(s)
Window Features

ANCILLARY BUILDINGS AND LANDSCAPE

Ancillary Buildings
Landscape Features

HHM Survey of Downtown and Deep Ellum 2022

HISTORY

Current Name	Storage	Historic Name	U-plan
Year Built		Architect	
Source Year Built		Builder	
Associated People			
Historical Significance			
Associated Historic Context Theme(s)			
Historical Sources			

INTEGRITY

Alterations		Relocation	
Additions			

PRIOR DOCUMENTATION

Designation(s)	
Designation Name(s)	

LOCAL RECOMMENDATIONS

Recommendation	
Justification	
Potential District Name	
Status (N/C)	
Criteria	

NATIONAL REGISTER (NRHP) RECOMMENDATIONS

Recommendation	
Justification	
Potential District Name	
Status (N/C)	
Criteria	
Area of Significance	

HHM Survey of Downtown and Deep Ellum 2022

Survey Date:	3/06/2021 (HHM)	
Resource No:	**11A (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	501 S 2ND AVE, 32.782290000000003/ -96.772844000000006168	
Function/ Subfunction:	Commercial	Repair shop
Form:	One-part commercial block	
Stylistic Influence(s):	Commercial	
Construction Date:	1921 (NR nomination)	
Occupants/ History:		
Prior Designation:	Contributing to a Listed NRHP District, Contributing to a Pending NRHP District (Gulf Oil Distribution Facility, Deep Ellum Historic District)	
Prior Documentation:	Downtown Dallas & Deep Ellum (HHM, 2021) (Maintain previous district listing, Within eligible district)	
NRHP Eligibility:	Maintain previous NRHP listing	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Deep Ellum, Contributing	
Criteria, Notes:	Criterion A, Ethnic History, Commerce, Social History, Local level of significance	
Alterations/Additions:	Stucco added	
Integrity Notes:		
Effect:	No adverse effect (de minimis ROW acquisition)	

Resource No. 11A	***See photos on following pages.***

501 S 2ND AVE A

HHM ID No. 11A (2023)

IDENTIFICATION

Address	501 S 2ND AVE A	Legal Description	
City Council District	District 2	CAD Parcel ID	1.29037e+11

CLASSIFICATION

Resource Type	Building	Current Use	Commercial
Property Type	Repair shop	Historic Use	Commercial
Form/Plan	One-part commercial block		

ARCHITECTURAL DETAILS

Stylistic Influence(s)	Commercial	Exterior Material(s)	Brick
No. Stories	1	Exterior Features	
Ground-Level Bays		Upper-Level Bays	8

ROOF

Roof Form/Type	Flat
Roof Materials	
Parapet	Stepped

DOORS AND WINDOWS

Door Type(s)	Single door(s) primary entrance
Door Material(s)	Metal
Door Features	
Storefront	
Window type(s)	Casement
Window Material(s)	Metal
Window Features	

ANCILLARY BUILDINGS AND LANDSCAPE

Ancillary Buildings	
Landscape Features	

HHM Survey of Downtown and Dec

HISTORY

Current Name	Hickory Street Annex	Historic Name	Gulf Oil Company repair shop
Year Built	1921	Architect	
Source Year Built	NR nomination	Builder	
Associated People			
Historical Significance			
Associated Historic Context Theme(s)			
Historical Sources			

INTEGRITY

Alterations	Stucco added	Relocation	
Additions			

PRIOR DOCUMENTATION

Designation(s)	Contributing to NR district
Designation Name(s)	Gulf Oil Distribution Facility

LOCAL RECOMMENDATIONS

Recommendation	Within district
Justification	Possesses integrity and contributes to district
Potential District Name	Deep Ellum
Status (N/C)	Contributing
Criteria	

NATIONAL REGISTER (NRHP) RECOMMENDATIONS

Recommendation	Maintain previous district listing, Within district
Justification	Possesses integrity and contributes to district
Potential District Name	Deep Ellum
Status (N/C)	Contributing
Criteria	
Area of Significance	

HHM Survey of Downtown and Deep Ellum 2022

Survey Date:	3/06/2021 (HHM)	
Resource No:	**11B (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	501 S 2ND AVE, 32.782077999999998/ -96.772581000000002169	
Function/ Subfunction:	Commercial	Warehouse
Form:	One-part commercial block	
Stylistic Influence(s):	Commercial	
Construction Date:	1921 (NR nomination)	
Occupants/ History:		
Prior Designation:	Contributing to a Listed NRHP District, Contributing to a Pending NRHP District (Gulf Oil Distribution Facility, Deep Ellum Historic District)	
Prior Documentation:	Downtown Dallas & Deep Ellum (HHM, 2021) (Maintain previous district listing, Within eligible district)	
NRHP Eligibility:	Maintain previous NRHP listing	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Deep Ellum, Contributing	
Criteria, Notes:	Criterion A, Ethnic History, Commerce, Social History, Local level of significance	
Alterations/Additions:		
Integrity Notes:		
Effect:	No adverse effect (de minimis ROW acquisition)	

Resource No. 11B	***See photos on following pages.***

501 S 2ND AVE B

HHM ID No. 11B (2023)

IDENTIFICATION

Address	501 S 2ND AVE B	Legal Description	
City Council District	District 2	CAD Parcel ID	1.29037e+11

CLASSIFICATION

Resource Type	Building	Current Use	Commercial
Property Type	Warehouse	Historic Use	Commercial
Form/Plan	One-part commercial block		

ARCHITECTURAL DETAILS

Stylistic Influence(s)	Commercial	Exterior Material(s)	Brick
No. Stories	1	Exterior Features	
Ground-Level Bays		Upper-Level Bays	

ROOF

Roof Form/Type	Flat
Roof Materials	
Parapet	Stepped

DOORS AND WINDOWS

Door Type(s)	
Door Material(s)	
Door Features	
Storefront	
Window type(s)	Casement
Window Material(s)	Metal
Window Features	

ANCILLARY BUILDINGS AND LANDSCAPE

Ancillary Buildings	
Landscape Features	

HHM Survey of Downtown and Deep Ellum 2022

HISTORY

Current Name	Hickory Street Annex	Historic Name	Gulf Oil Company garage
Year Built	1921	Architect	
Source Year Built	NR nomination	Builder	
Associated People			
Historical Significance			
Associated Historic Context Theme(s)			
Historical Sources			

INTEGRITY

Alterations		Relocation	
Additions			

PRIOR DOCUMENTATION

Designation(s)	Contributing to NR district
Designation Name(s)	Gulf Oil Distribution Facility

LOCAL RECOMMENDATIONS

Recommendation	Within district
Justification	Possesses integrity and contributes to district
Potential District Name	Deep Ellum
Status (N/C)	Contributing
Criteria	

NATIONAL REGISTER (NRHP) RECOMMENDATIONS

Recommendation	Maintain previous district listing, Within district
Justification	Possesses integrity and contributes to district
Potential District Name	Deep Ellum
Status (N/C)	Contributing
Criteria	
Area of Significance	

HHM Survey of Downtown and Deep Ellum 2022

Survey Date:	3/06/2021 (HHM)	
Resource No:	**11C (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	501 S 2ND AVE, 32.781582/ -96.772490000000005170	
Function/ Subfunction:	Industrial	Warehouse
Form:	Two-part commercial block	
Stylistic Influence(s):	Commercial	
Construction Date:	1921 (NR nomination)	
Occupants/ History:		
Prior Designation:	Contributing to a Listed NRHP District, Contributing to a Pending NRHP District (Gulf Oil Distribution Facility, Deep Ellum Historic District)	
Prior Documentation:	Downtown Dallas & Deep Ellum (HHM, 2021) (Maintain previous district listing, Within eligible district)	
NRHP Eligibility:	Maintain previous NRHP listing	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Deep Ellum, Contributing	
Criteria, Notes:	Criterion A, Ethnic History, Commerce, Social History, Local level of significance	
Alterations/Additions:		
Integrity Notes:		
Effect:	No adverse effect (de minimis ROW acquisition)	

Resource No. 11C	***See photos on following pages.***

501 S 2ND AVE C

HHM ID No. 11C (2023)

IDENTIFICATION

Address	501 S 2ND AVE C	Legal Description	
City Council District	District 2	CAD Parcel ID	1.29037e+11

CLASSIFICATION

Resource Type	Building	Current Use	Commercial
Property Type	Warehouse	Historic Use	Industrial
Form/Plan	Two-part commercial block		

ARCHITECTURAL DETAILS

Stylistic Influence(s)	Commercial	Exterior Material(s)	
No. Stories		Exterior Features	
Ground-Level Bays		Upper-Level Bays	

ROOF

Roof Form/Type	
Roof Materials	
Parapet	

DOORS AND WINDOWS

Door Type(s)	
Door Material(s)	
Door Features	
Storefront	
Window type(s)	
Window Material(s)	
Window Features	

ANCILLARY BUILDINGS AND LANDSCAPE

Ancillary Buildings	
Landscape Features	

HHM Survey of Downtown and Deep Ellum 2022

HISTORY

Current Name	Hickory Street Annex	Historic Name	Gulf Oil Company warehouse
Year Built	1921	Architect	
Source Year Built	NR nomination	Builder	
Associated People			
Historical Significance			
Associated Historic Context Theme(s)	Industry - Petroleum		
Historical Sources			

INTEGRITY

Alterations		Relocation	
Additions			

PRIOR DOCUMENTATION

Designation(s)	Contributing to NR district
Designation Name(s)	Gulf Oil Distribution Facility

LOCAL RECOMMENDATIONS

Recommendation	Within district
Justification	Possesses integrity and contributes to district
Potential District Name	Deep Ellum
Status (N/C)	Contributing
Criteria	

NATIONAL REGISTER (NRHP) RECOMMENDATIONS

Recommendation	Maintain previous district listing, Within district
Justification	Possesses integrity and contributes to district
Potential District Name	Deep Ellum
Status (N/C)	Contributing
Criteria	
Area of Significance	

HHM Survey of Downtown and Deep Ellum 2022

Survey Date:	3/06/2021 (HHM)	
Resource No:	**11D (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	501 S 2ND AVE, 32.781601999999999/ -96.772730999999993126	
Function/ Subfunction:	Industrial	Shop building
Form:	Rectangular	
Stylistic Influence(s):	Commercial	
Construction Date:	1921 (NR nomination)	
Occupants/ History:		
Prior Designation:	Contributing to a Listed NRHP District, Contributing to a Pending NRHP District (Gulf Oil Distribution Facility, Deep Ellum Historic District)	
Prior Documentation:	Downtown Dallas & Deep Ellum (HHM, 2021) (Maintain previous district listing, Within eligible district)	
NRHP Eligibility:	Maintain previous NRHP listing	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Deep Ellum, Contributing	
Criteria, Notes:	Criterion A, Ethnic History, Commerce, Social History, Local level of significance	
Alterations/Additions:		
Integrity Notes:		
Effect:	No adverse effect (de minimis ROW acquisition)	

Resource No. 11D	***See photos on following pages.***

501 S 2ND AVE D

HHM ID No. 11D (2023)

IDENTIFICATION

Address	501 S 2ND AVE D	Legal Description	
City Council District	District 2	CAD Parcel ID	1.29037e+11

CLASSIFICATION

Resource Type	Building	Current Use	Commercial
Property Type	Shop building	Historic Use	Industrial
Form/Plan	Rectangular		

ARCHITECTURAL DETAILS

Stylistic Influence(s)	Commercial	Exterior Material(s)	
No. Stories		Exterior Features	
Ground-Level Bays		Upper-Level Bays	

ROOF

Roof Form/Type	
Roof Materials	
Parapet	

DOORS AND WINDOWS

Door Type(s)	
Door Material(s)	
Door Features	
Storefront	
Window type(s)	
Window Material(s)	
Window Features	

ANCILLARY BUILDINGS AND LANDSCAPE

Ancillary Buildings	
Landscape Features	

HHM Survey of Downtown and Deep Ellum 2022

HISTORY

Current Name	Hickory Street Annex	Historic Name	Gulf Oil cooper shop
Year Built	1921	Architect	
Source Year Built	NR nomination	Builder	
Associated People			
Historical Significance			
Associated Historic Context Theme(s)			
Historical Sources			

INTEGRITY

Alterations		Relocation	
Additions			

PRIOR DOCUMENTATION

Designation(s)	Contributing to NR district
Designation Name(s)	Gulf Oil Distribution Facility

LOCAL RECOMMENDATIONS

Recommendation	Within district
Justification	Possesses integrity and contributes to district
Potential District Name	Deep Ellum
Status (N/C)	Contributing
Criteria	

NATIONAL REGISTER (NRHP) RECOMMENDATIONS

Recommendation	Maintain previous district listing, Within district
Justification	Possesses integrity and contributes to district
Potential District Name	Deep Ellum
Status (N/C)	Contributing
Criteria	
Area of Significance	

HHM Survey of Downtown and Deep Ellum 2022

Survey Date:	3/06/2021 (HHM)	
Resource No:	**11E (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	501 S 2ND AVE, 32.781730000000003/ -96.772882999999993173	
Function/ Subfunction:	Industrial	Boiler
Form:	Rectangular	
Stylistic Influence(s):	Commercial	
Construction Date:	1921 (NR nomination)	
Occupants/ History:		
Prior Designation:	Contributing to a Listed NRHP District, Contributing to a Pending NRHP District (Gulf Oil Distribution Facility, Deep Ellum Historic District)	
Prior Documentation:	Downtown Dallas & Deep Ellum (HHM, 2021) (Maintain previous district listing, Within eligible district)	
NRHP Eligibility:	Maintain previous NRHP listing	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Deep Ellum, Contributing	
Criteria, Notes:	Criterion A, Ethnic History, Commerce, Social History, Local level of significance	
Alterations/Additions:		
Integrity Notes:		
Effect:	No adverse effect (de minimis ROW acquisition)	

Resource No. 11E	***See photos on following pages.***

501 S 2ND AVE E

HHM ID No. 11E (2023)

IDENTIFICATION

Address	501 S 2ND AVE E	Legal Description	
City Council District	District 2	CAD Parcel ID	1.29037e+11

CLASSIFICATION

Resource Type		Current Use	Commercial
Property Type	Boiler	Historic Use	Industrial
Form/Plan	Rectangular		

ARCHITECTURAL DETAILS

Stylistic Influence(s)	Commercial	Exterior Material(s)	
No. Stories		Exterior Features	
Ground-Level Bays		Upper-Level Bays	

ROOF

Roof Form/Type	
Roof Materials	
Parapet	

DOORS AND WINDOWS

Door Type(s)	
Door Material(s)	
Door Features	
Storefront	
Window type(s)	
Window Material(s)	
Window Features	

ANCILLARY BUILDINGS AND LANDSCAPE

Ancillary Buildings	
Landscape Features	

HHM Survey of Downtown and Deep Ellum 2022

HISTORY

Current Name	Hickory Street Annex	Historic Name	Gulf Oil Company boiler
Year Built	1921	Architect	
Source Year Built	NR nomination	Builder	
Associated People			
Historical Significance			
Associated Historic Context Theme(s)			
Historical Sources			

INTEGRITY

Alterations		Relocation	
Additions			

PRIOR DOCUMENTATION

Designation(s)	Contributing to NR district
Designation Name(s)	Gulf Oil Distribution Facility

LOCAL RECOMMENDATIONS

Recommendation	Within district
Justification	Possesses integrity and contributes to district
Potential District Name	Deep Ellum
Status (N/C)	Contributing
Criteria	

NATIONAL REGISTER (NRHP) RECOMMENDATIONS

Recommendation	Maintain previous district listing, Within district
Justification	Possesses integrity and contributes to district
Potential District Name	Deep Ellum
Status (N/C)	Contributing
Criteria	
Area of Significance	

HHM Survey of Downtown and Deep Ellum 2022

Survey Date:	3/06/2021 (HHM)	
Resource No:	**11F (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	501 S 2ND AVE, 32.781855/ -96.773026000000002245	
Function/ Subfunction:	Industrial	Pump House
Form:	Rectangular	
Stylistic Influence(s):	Commercial	
Construction Date:	1921 (NR nomination)	
Occupants/ History:		
Prior Designation:	Contributing to a Listed NRHP District, Contributing to a Pending NRHP District (Gulf Oil Distribution Facility, Deep Ellum Historic District)	
Prior Documentation:	Downtown Dallas & Deep Ellum (HHM, 2021) (Maintain previous district listing, Within eligible district)	
NRHP Eligibility:	Maintain previous NRHP listing	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Deep Ellum, Contributing	
Criteria, Notes:	Criterion A, Ethnic History, Commerce, Social History, Local level of significance	
Alterations/Additions:		
Integrity Notes:		
Effect:	No adverse effect (de minimis ROW acquisition)	

Resource No. 11F	***See photos on following pages.***

501 S 2ND AVE F

HHM ID No. 11F (2023)

IDENTIFICATION

Address	501 S 2ND AVE F	Legal Description	
City Council District	District 2	CAD Parcel ID	1.29037e+11

CLASSIFICATION

Resource Type		Current Use	Commercial
Property Type	Pump house	Historic Use	Industrial
Form/Plan	Rectangular		

ARCHITECTURAL DETAILS

Stylistic Influence(s)	Commercial	Exterior Material(s)	
No. Stories		Exterior Features	
Ground-Level Bays		Upper-Level Bays	

ROOF

Roof Form/Type	
Roof Materials	
Parapet	

DOORS AND WINDOWS

Door Type(s)	
Door Material(s)	
Door Features	
Storefront	
Window type(s)	
Window Material(s)	
Window Features	

ANCILLARY BUILDINGS AND LANDSCAPE

Ancillary Buildings	
Landscape Features	

HHM Survey of Downtown and Deep Ellum 2022

HISTORY

Current Name	Hickory Street Annex	Historic Name	Gulf Oil Company pump house
Year Built	1921	Architect	
Source Year Built	NR nomination	Builder	
Associated People			
Historical Significance			
Associated Historic Context Theme(s)			
Historical Sources			

INTEGRITY

Alterations		Relocation	
Additions			

PRIOR DOCUMENTATION

Designation(s)	Contributing to NR district
Designation Name(s)	Gulf Oil Distribution Facility

LOCAL RECOMMENDATIONS

Recommendation	Within district
Justification	Possesses integrity and contributes to district
Potential District Name	Deep Ellum
Status (N/C)	Contributing
Criteria	

NATIONAL REGISTER (NRHP) RECOMMENDATIONS

Recommendation	Maintain previous district listing, Within district
Justification	Possesses integrity and contributes to district
Potential District Name	Deep Ellum
Status (N/C)	Contributing
Criteria	
Area of Significance	

HHM Survey of Downtown and Deep Ellum 2022

Survey Date:	1/21/2021 (HHM)	
Resource No:	**12 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	502 S 2ND AVE, 32.782446/ -96.772064527	
Function/ Subfunction:	Commercial	Office/warehouse
Form:	Commercial box	
Stylistic Influence(s):	Mid-Century Modern	
Construction Date:	1960 (Appraisal district)	
Occupants/ History:		
Prior Designation:	Contributing to a Pending NRHP District (Deep Ellum Historic District)	
Prior Documentation:	Downtown Dallas & Deep Ellum (HHM, 2021); I-30 East Corridor Project (HNTB, Sept. 2022, Resource #10) (Within eligible district; Contributing)	
NRHP Eligibility:	Individually eligible for NRHP, Maintain previous NRHP listing	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Deep Ellum, Contributing	
Criteria, Notes:	Criterion A, Ethnic History, Commerce, Social History, Local level of significance	
Alterations/Additions:	Some doors replaced	
Integrity Notes:		
Effect:	None	

Resource No. 12	***See photos on following pages.***

502 S 2ND AVE

HHM ID No. 12 (2023)

IDENTIFICATION

Address	502 S 2ND AVE	Legal Description	
City Council District		CAD Parcel ID	PETO HOLDINGS LLC

CLASSIFICATION

Resource Type	Commercial	Current Use	Building
Property Type		Historic Use	Warehouse, Office
Form/Plan	1960		

ARCHITECTURAL DETAILS

Stylistic Influence(s)	DCAD	Exterior Material(s)	
No. Stories		Exterior Features	
Ground-Level Bays		Upper-Level Bays	

ROOF

Roof Form/Type	
Roof Materials	
Parapet	

DOORS AND WINDOWS

Door Type(s)	
Door Material(s)	
Door Features	
Storefront	
Window type(s)	
Window Material(s)	
Window Features	

ANCILLARY BUILDINGS AND LANDSCAPE

Ancillary Buildings	
Landscape Features	

HHM Survey of Downtown and De

HISTORY

Current Name	DALLAS	Historic Name	District 2
Year Built	0	Architect	
Source Year Built	Mid-century Modern	Builder	
Associated People			
Historical Significance			
Associated Historic Context Theme(s)			
Historical Sources			

INTEGRITY

Alterations		Relocation	
Additions			

PRIOR DOCUMENTATION

Designation(s)	Medium
Designation Name(s)	Within district

LOCAL RECOMMENDATIONS

Recommendation	
Justification	
Potential District Name	Contributing
Status (N/C)	Within district
Criteria	

NATIONAL REGISTER (NRHP) RECOMMENDATIONS

Recommendation	
Justification	
Potential District Name	
Status (N/C)	
Criteria	
Area of Significance	

HHM Survey of Downtown and Deep Ellum 2022

Survey Date:	01/25/2022
Resource No:	12 (HHM) [10 (HNTB)]
Project Location:	Dallas
Project Name and CSJ:	I-30 East Corridor Project; 0009-11-252
Address, Lat/Long:	502 Second Avenue; 32.782394, -96.772428
Function/Sub-function:	Commercial
Construction Date:	c. 1956 – c. 1960
NRHP Eligibility:	Recommended as Contributing to the proposed Deep Ellum Historic District; See HHM 2023 survey form (also individually eligible)*
Integrity/Comments:	Resource 12 was surveyed as part of a City of Dallas historic resource survey of Downtown Dallas and the Deep Ellum neighborhood in 2021 and was recommended eligible as a contributing resource to the proposed Deep Ellum Historic District in the draft HRSR. The 2021 City of Dallas report has not yet received THC concurrence, but the report's findings were confirmed during survey for TxDOT Project CSJ 0009-11-252. The principal investigator and historians for CSJ 0009-11-252 agree with the eligibility findings of the draft report and have incorporated that report's information and eligibility recommendation into the survey form for Resource 12. Resource 12 is a two-story combined warehouse and office space in the Mid-century Modern style. According to DCAD, the building was constructed in 1960. This date is contradicted by historic aerial photography, which shows two buildings with the same distinct footprint as Resource 12 on the site in 1956. Historic aerial photography also shows that a building immediately east of the c. 1956 office portion of Resource 12 predates it by at least four years. Between 1956 and 1968, the older section and the ca. 1956 section are combined under a single flat roof. It is unclear from aerials whether the older building was demolished and replaced or renovated to match the c. 1956 section. It is likely that this unification was done in or near 1960 and was the basis for the 1960 construction date in DCAD records. Resource 12 is clad predominantly in yellow brick laid in a common bond. The office space section features character-defining elements of the Mid-century Modern style, including ribbon band windows, full-height metal and plate glass corner windows, cantilevered eaves and awnings, and a vertical anchor separating the entrance space from the work space. The vertical anchor and an inset ribbon band of windows on the southwest elevation both feature roman brick, a contrast from the traditional brick used elsewhere on the exterior. All aspects of roman brick have been painted black, but it is unlikely this is the original finish. The rear elevation is the simplest and features only painted brick, clerestory windows with security bars, three service bays with non-historic metal rolling doors, two concrete loading docks, and two potentially historic-age metal canopies protecting the service bays. The warehouse section façade is very similar to the rear elevation. It features four service bays covered by non-historic metal rolling doors, one single metal slab door and a double metal slab door, several small windows with security bars, a poured concrete loading dock, and two metal shed roof porches that do not appear to be constructed of historic-age materials. It expresses no elements of the Mid-century Modern style. Resource 12 is trapezoidal in form with the rear elevation slightly canted to follow the former Gulf, Colorado, and Santa Fe rail line at its rear. Resource 12 retains all aspects of integrity other than setting. The construction of I-30 and the loss of a number of surrounding historic-age resources, including a rail line that likely originally served the resource, has compromised its integrity in the aspect of setting. It has not been moved from its original location and has not been significantly altered. As such, the majority of its historic-age materials, design, and evidence of workmanship are intact. Its distinct architectural style and industrial form convey its period of significance and

HNTB Draft Under Review 2022

	original use as a warehouse, maintaining its integrity of feeling and association. Therefore, the resource is recommended eligible under Criterion A for Industry and under Criterion C for Architecture. Further, in agreement with the 2021 draft City of Dallas Downtown and Deep Ellum HRSR, Resource 12 is recommended as a contributing feature of the proposed Deep Ellum Historic District. The proposed NRHP-eligible boundary for Resource 12 conforms to the legal parcel boundary of DCAD parcel 00000129031000000.

Resource 12 (HHM) [10 (HNTB)]: view of office section showing Mid-century Modern stylistic elements, facing southeast

HNTB

Resource 12 (HHM) [10 (HNTB)]: view of warehouse section, facing south

HNTB Draft

Resource 12 (HHM) [10 (HNTB)]: view of rear elevation and former rail line corridor, facing southwest

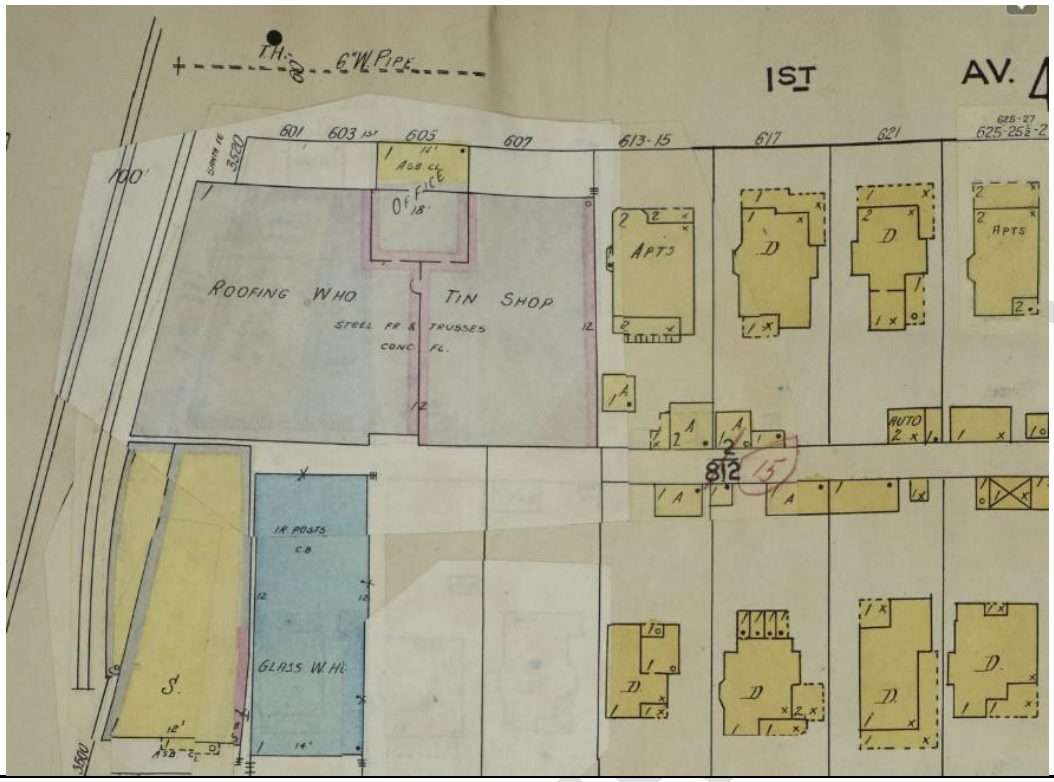
HNTB Draft

Survey Date:	8/4/2020 (Canyon)	
Resource No:	**13 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	601 1ST AVE, 32.782212999999999/ -96.771246000000005246	
Function/ Subfunction:	Commercial	Shop building
Form:	Rectangular	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1949 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	IH 30 Canyon (2020) (Not Eligible)	
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks integrity	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	Roof shape altered, doors and windows replaced, exterior materials replaced	
Integrity Notes:		
Effect:	None	

Resource No. 13	***See photos on following pages.***

Survey Date:	8/4/20
Resource No:	13 (HHM) [25 (I-30 Canyon 2020)]
Project Location:	Dallas County
Project Name and CSJ:	IH 30 Canyon Improvements Project; 0009-11-254
Address, Lat/Long:	601 1st Avenue; 32.78218 -96.77126
Function/Sub-function:	Commercial/Shop
Construction Date:	1949
NRHP Eligibility:	Not Eligible
Integrity/Comments:	Resource 13 is a one-story steel-framed building containing an auto repair shop and a screen-printing shop. Resting on a concrete slab foundation, the building is clad in metal panels along its northern and western exteriors and brick along its eastern exterior. The property's southern side was inaccessible at the time of field investigations. A sawtooth roof structure admits natural light into interior spaces. An office is located at the center of the building's north elevation. A 1950 Sanborn Fire Insurance Map (see photographs) shows that the office was a frame building clad in asbestos siding, however the current office is constructed of seven-course common bond brick. Based on field observations, this change to the office's exterior occurred during the historic period. Property owners appear to have added a mansard roof to the office during the non-historic period. The office building is covered by a mansard roof and fenestrated with steel-framed windows. A pair of historic-age glass doors in metal frames serve as the office entrance while historic-age rolling doors cover the multiple garage doors on the building's northern exterior. Historically, Resource 13 stood adjacent to a dense residential neighborhood. Nearby house lots were demolished to make way for IH 30 and the property now stands in a setting defined by commercial properties and vacant parcels. Resource 13 appears to retain integrity in the areas of location, workmanship, and materials. Much of the property's historic-age materials appear to be intact. The setting of Resource 13 has been altered by the demolition of surrounding historic-age buildings as vacant lots now dominate a once densely developed area. The addition of a non-historic mansard roof to the office has diminished integrity in the area of design. On a building nearly devoid of any ornamentation, this seemingly small change has led to a great reduction in design integrity. Changes to the building's setting and design have reduced integrity in the areas of feeling and association, as the property no longer evokes a sense of mid-twentieth century commercial life nor does it retain a direct link to the past. Research did not reveal an association between Resource 13 and any events or people that have made significant contributions to Dallas history, therefore the property was not recommended not eligible under Criteria A or B. Resource 13 was evaluated under Criterion C for architecture. The building does not represent an academic type or style, nor does it embody distinctive characteristics of a particular time period or method of construction. While the building appears to retain integrity, it does not possess historic significance. Therefore, the resource is recommended not eligible under Criterion C.

I-30 Canyon HHM 2020



Resource 13 (HHM) [25 (I-30 Canyon 2020)]: Detail of 1950 Sanborn Map

Source: Sanborn Fire Insurance Map from Dallas, Dallas County, Texas. Sanborn Map Company, - Aug 1950 Vol. 4, 1950. Map. https://www.loc.gov/item/sanborn08492_016/ (Accessed September 1, 2020).

Resource 13 (HHM) [25 (I-30 Canyon 2020)]: view southeast toward north and west elevations

Resource 13 (HHM) [25 (I-30 Canyon 2020)]: view southwest toward north and east elevations

I-30 Canyon HHM 2020

Survey Date:	1/21/2021 (HHM)	
Resource No:	**14 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	507 EXPOSITION AVE, 32.783267000000002/ -96.771109999999993247	
Function/ Subfunction:	Commercial	Store
Form:	One-part commercial block	
Stylistic Influence(s):	Commercial	
Construction Date:	1897 (Appraisal district)	
Occupants/ History:		
Prior Designation:	Contributing to a Pending NRHP District (Deep Ellum Historic District)	
Prior Documentation:	Downtown Dallas & Deep Ellum (HHM, 2021) (Within eligible district)	
NRHP Eligibility:	Maintain previous NRHP listing	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Deep Ellum, Contributing	
Criteria, Notes:	Criterion A, Ethnic History, Commerce, Social History, Local level of significance	
Alterations/Additions:	Windows infilled during historic period, door replaced	Side addition
Integrity Notes:		
Effect:	None	

Resource No. 14	***See photos on following pages.***

507 EXPOSITION AVE

HHM ID No. 14 (2023)

IDENTIFICATION

Address	507 EXPOSITION AVE	Legal Description	
City Council District	District 2	CAD Parcel ID	1.28221e+11

CLASSIFICATION

Resource Type	Building	Current Use	Commercial
Property Type	Store	Historic Use	Commercial
Form/Plan	One-part commercial block		

ARCHITECTURAL DETAILS

Stylistic Influence(s)	Commercial	Exterior Material(s)	
No. Stories		Exterior Features	
Ground-Level Bays		Upper-Level Bays	

ROOF

Roof Form/Type	
Roof Materials	
Parapet	

DOORS AND WINDOWS

Door Type(s)	
Door Material(s)	
Door Features	
Storefront	
Window type(s)	
Window Material(s)	
Window Features	

ANCILLARY BUILDINGS AND LANDSCAPE

Ancillary Buildings	
Landscape Features	

HHM Survey of Downtown and Dec

HISTORY

Current Name	Big Sky Construction Co.	Historic Name	J.M. Hengy Electric Co.
Year Built	1897	Architect	
Source Year Built	DCAD	Builder	
Associated People			
Historical Significance			
Associated Historic Context Theme(s)			
Historical Sources			

INTEGRITY

Alterations	Windows infilled during historic period, Door replaced	Relocation	
Additions	Addition to west facade		

PRIOR DOCUMENTATION

Designation(s)	
Designation Name(s)	

LOCAL RECOMMENDATIONS

Recommendation	Within district
Justification	Possesses integrity and contributes to district
Potential District Name	Deep Ellum
Status (N/C)	Contributing
Criteria	

NATIONAL REGISTER (NRHP) RECOMMENDATIONS

Recommendation	Within district
Justification	Possesses integrity and contributes to district
Potential District Name	Deep Ellum
Status (N/C)	Contributing
Criteria	
Area of Significance	

HHM Survey of Downtown and Deep Ellum 2022

Survey Date:	1/21/2021 (HHM)	
Resource No:	**15 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	500 EXPOSITION AVE, 32.783667999999999/ -96.770973999999995248	
Function/ Subfunction:	Commercial	Office, store
Form:	Two-part commercial block	
Stylistic Influence(s):	Commercial	
Construction Date:	1933 (Appraisal district)	
Occupants/ History:		
Prior Designation:	Contributing to a Pending NRHP District (Deep Ellum Historic District)	
Prior Documentation:	Downtown Dallas & Deep Ellum (HHM, 2021) (Within eligible district)	
NRHP Eligibility:	Maintain previous NRHP listing	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Deep Ellum, Contributing	
Criteria, Notes:	Criterion A, Ethnic History, Commerce, Social History, Local level of significance	
Alterations/Additions:	Some windows replaced, some storefronts replaced	
Integrity Notes:		
Effect:	None	

Resource No. 15	***See photos on following pages.***

500 EXPOSITION AVE

HHM ID No. 15 (2023)

IDENTIFICATION

Address	500 EXPOSITION AVE	Legal Description	BLK 7/814 LOT 1 WILLOW EXPOSITION & SANTA FE 0814 007 00100 1DA0814 007 GASTON HOMESTEAD UNREC VOL99108/1269 DD06011999 CO-DC
City Council District	District 2	CAD Parcel ID	1.28266e+11

CLASSIFICATION

Resource Type	Building	Current Use	Commercial, Residential
Property Type	Office, Store	Historic Use	Commercial
Form/Plan	Two-part commercial block		

ARCHITECTURAL DETAILS

Stylistic Influence(s)	Commercial	Exterior Material(s)	
No. Stories		Exterior Features	
Ground-Level Bays		Upper-Level Bays	

ROOF

Roof Form/Type	
Roof Materials	
Parapet	

DOORS AND WINDOWS

Door Type(s)	
Door Material(s)	
Door Features	
Storefront	
Window type(s)	
Window Material(s)	
Window Features	

ANCILLARY BUILDINGS AND LANDSCAPE

Ancillary Buildings	
Landscape Features	

HHM Survey of Downtown and Dee

HISTORY

Current Name	500 X Gallery / Artist Studio Lofts	Historic Name	
Year Built	1933	Architect	
Source Year Built	DCAD 2021	Builder	
Associated People			
Historical Significance			
Associated Historic Context Theme(s)			
Historical Sources			

INTEGRITY

Alterations	Some windows replaced, Some storefronts replaced	Relocation	
Additions			

PRIOR DOCUMENTATION

Designation(s)	
Designation Name(s)	

LOCAL RECOMMENDATIONS

Recommendation	Within district
Justification	Possesses integrity and contributes to district
Potential District Name	Deep Ellum
Status (N/C)	Contributing
Criteria	

NATIONAL REGISTER (NRHP) RECOMMENDATIONS

Recommendation	Within district
Justification	Possesses integrity and contributes to district
Potential District Name	Deep Ellum
Status (N/C)	Contributing
Criteria	
Area of Significance	

HHM Survey of Downtown and Deep Ellum 2022

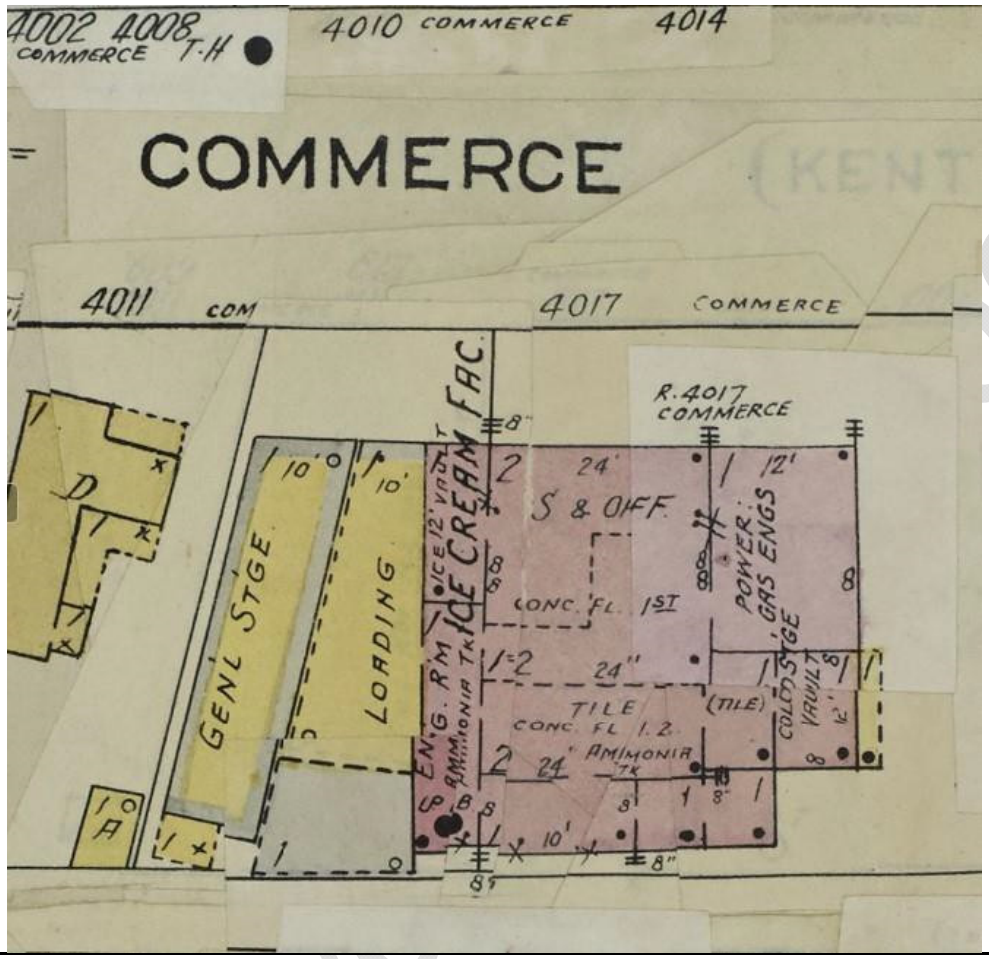
Survey Date:	1/21/2021 (HHM), 8/5/2020 (Canyon)	
Resource No:	**16 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	4003 COMMERCE ST, 32.783304999999999/ -96.769940000000005171	
Function/ Subfunction:	Commercial	Warehouse
Form:	Rectangular	
Stylistic Influence(s):	Modern Commercial	
Construction Date:	1947 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	IH 30 Canyon (2020), Downtown Dallas & Deep Ellum (HHM, 2021) (Not Eligible (2020 & 2021))	
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks integrity	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	Some windows infilled, Doors replaced	Metal side addition
Integrity Notes:		
Effect:	None	

Resource No. 16	***See photos on following pages.***

Survey Date:	8/5/20
Resource No:	16 (HHM) [28 (I-30 Canyon 2020)]
Project Location:	Dallas County
Project Name and CSJ:	IH 30 Canyon Improvements Project; 0009-11-254
Address, Lat/Long:	4003 Commerce Street; 32.78373 -96.76987
Function/Sub-function:	Commercial/Warehouse; Commercial/Office; Recreation/Gymnasium
Construction Date:	c. 1947-1995
NRHP Eligibility:	Not Eligible
Integrity/Comments:	Though listed under the single address of 4003 Commerce Street on the DCAD website, Resource 16 is comprised of four separate addresses located near the intersection of Commerce Street and Santa Fe Avenue: 4003 Commerce, 4015 Commerce, 4011 Commerce, and 620 Exposition Avenue. The historic-age core of Resource 16 is a two-story structural tile building with a single-story wing on its west side. According to a 1950 Sanborn map, the building was used historically as an ice cream factory (see photographs). In an informal interview, a nearby property owner reported that this ice cream plant was associated with Cabell's, Inc (see Resource 197 for more information). Resource 16 is a two-story building constructed of structural clay tile and clad in a brick veneer. A portion of the building's eastern half is only one story in height and a loading dock is located on the resource's east elevation. Historic-age steel-framed awning windows and a historic-age metal door fenestrate the building's north elevation. A bay along the first story of the northern exterior has been infilled with brick and glass blocks. Non-historic fixed windows and metal flush doors are located on the building's south elevation, where bays on the first floor have been infilled with brick and glass blocks. A non-historic prefabricated metal building attached to the building's west side was constructed in 1995. The windowless building features a loading dock on its western edge and a rolling door covers a garage bay on the south elevation. A concrete block office building with fixed windows joins the building on its south side. Resource 16 stands in a paved parking lot. Surrounding lots contain historic-age commercial development. Resource 16 retains integrity in the areas of location and setting only. The building stands in its original location in a commercial section of Dallas. The construction of the non-historic addition and changes to the building's fenestrations have reduced integrity in the areas of design, materials, and workmanship. Without the ability to convey significance in the area of design, the building no longer evokes a sense of commercial life in mid-twentieth century Dallas. Due to the design changes, Resource 16 no longer possesses a direct link to the past and does not retain integrity in the area of association. Although Resource 16 has been related to commercial life in Dallas since the mid-twentieth century, there is no evidence that the building retains any associations with events or people that have made significant contributions to local or state history. As detailed in the survey form for Resource 197, Resource 16 was historically associated with Earle Cabell and the Cabell's brand. The multiple alterations to the building no longer allow it to retain integrity or possess significance in the area of commerce as a mid-twentieth century ice cream plant. Likewise, these integrity issues prevent the building from sharing an association with Dallas businessman and politician Earle Cabell. Therefore, the building is recommended not eligible for the NRHP under Criteria A or B. Resource 16 does not exhibit characteristics of any academic type or style nor does its design embody a particular time period. Changes to the building's historic-age form and fenestrations have reduced the

I-30 Canyon HSRD 2020

	property's integrity and ability to convey significance. Therefore, Resource 16 is recommended not eligible under Criterion C for architecture.



Resource 16 (HHM) [28 (I-30 Canyon 2020)]: Detail of 1950 Sanborn map

Source: Sanborn Fire Insurance Map from Dallas, Dallas County, Texas. Sanborn Map Company, - Aug 1950 Vol. 4, 1950. Map. https://www.loc.gov/item/sanborn08492_016/ (accessed August 31, 2020).

I-30 Canyon 2020

Resource 16 (HHM) [28 (I-30 Canyon 2020)]: view northeast toward west and south exteriors

Resource 16 (HHM) [28 (I-30 Canyon 2020)]: view southeast toward west and north exteriors

4003 COMMERCE ST

HHM ID No. 16 (2023)

IDENTIFICATION

Address	4003 COMMERCE ST	Legal Description	HAYES BLK 810 LTS 1-5 17 & ABDN ROW ACS 1.4094 PT LTS 6 & 0810 000 00100 1DA0810 000 18-22 VOL96114/3426 DD053196 CO-DALLAS
City Council District	District 2	CAD Parcel ID	00000127408000000

CLASSIFICATION

Resource Type	Building	Current Use	Commercial
Property Type	Warehouse	Historic Use	Commercial
Form/Plan	Rectangular		

ARCHITECTURAL DETAILS

Stylistic Influence(s)	Modern commercial	Exterior Material(s)	
No. Stories		Exterior Features	
Ground-Level Bays		Upper-Level Bays	

ROOF

Roof Form/Type	
Roof Materials	
Parapet	

DOORS AND WINDOWS

Door Type(s)	
Door Material(s)	
Door Features	
Storefront	
Window type(s)	
Window Material(s)	
Window Features	

ANCILLARY BUILDINGS AND LANDSCAPE

Ancillary Buildings	
Landscape Features	

HHM Survey of Downtown and Dec

HISTORY

Current Name	PARKING CO OF AMERICA/BELCLAIR COMPANIES	Historic Name	
Year Built	1947	Architect	
Source Year Built	DCAD 2021	Builder	
Associated People			
Historical Significance			
Associated Historic Context Theme(s)			
Historical Sources			

INTEGRITY

Alterations	Some windows infilled, Doors replaced	Relocation	
Additions	Metal side addition (1980s) to west		

PRIOR DOCUMENTATION

Designation(s)	
Designation Name(s)	

LOCAL RECOMMENDATIONS

Recommendation	Not eligible
Justification	Lacks integrity
Potential District Name	Not eligible
Status (N/C)	
Criteria	

NATIONAL REGISTER (NRHP) RECOMMENDATIONS

Recommendation	Not eligible
Justification	Lacks integrity
Potential District Name	Not eligible
Status (N/C)	
Criteria	
Area of Significance	

HHM Survey of Downtown and Deep Ellum 2022

Survey Date:	1/21/2021 (HHM), 8/5/2020 (Canyon)	
Resource No:	**17 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	4011 COMMERCE ST, 32.783729000000001/ -96.769891999999999172	
Function/ Subfunction:	Commercial	Warehouse
Form:	Rectangular	
Stylistic Influence(s):	Modern Commercial	
Construction Date:	1947 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	IH 30 Canyon (2020), Downtown Dallas & Deep Ellum (HHM, 2021) (Not Eligible (2020 & 2021))	
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks integrity	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	Some windows infilled, doors replaced	Side addition
Integrity Notes:		
Effect:	None	

Resource No. 17	***See HNTB photos grouped with Resource 16 on form above.***

4011 COMMERCE ST

HHM ID No. 17 (2023)

IDENTIFICATION

Address	4011 COMMERCE ST	Legal Description	HAYES BLK 810 LTS 1-5 17 & ABDN ROW ACS 1.4094 PT LTS 6 & 0810 000 00100 1DA0810 000 18-22 VOL96114/3426 DD053196 CO-DALLAS
City Council District	District 2	CAD Parcel ID	1.27408e+11

CLASSIFICATION

Resource Type	Building	Current Use	Commercial
Property Type	Warehouse	Historic Use	Commercial
Form/Plan	Rectangular		

ARCHITECTURAL DETAILS

Stylistic Influence(s)	Modern commercial	Exterior Material(s)	
No. Stories		Exterior Features	
Ground-Level Bays		Upper-Level Bays	

ROOF

Roof Form/Type	
Roof Materials	
Parapet	

DOORS AND WINDOWS

Door Type(s)	
Door Material(s)	
Door Features	
Storefront	
Window type(s)	
Window Material(s)	
Window Features	

ANCILLARY BUILDINGS AND LANDSCAPE

Ancillary Buildings	
Landscape Features	

HHM Survey of Downtown and Dea

HISTORY

Current Name	PARKING CO OF AMERICA/BELCLAIR COMPANIES	Historic Name	
Year Built	1947	Architect	
Source Year Built	DCAD 2021	Builder	
Associated People			
Historical Significance			
Associated Historic Context Theme(s)			
Historical Sources			

INTEGRITY

Alterations	Some windows infilled, Doors replaced	Relocation	
Additions	Metal side addition (1980s) to west		

PRIOR DOCUMENTATION

Designation(s)	
Designation Name(s)	

LOCAL RECOMMENDATIONS

Recommendation	Not eligible
Justification	Lacks integrity
Potential District Name	
Status (N/C)	
Criteria	

NATIONAL REGISTER (NRHP) RECOMMENDATIONS

Recommendation	Not eligible
Justification	Lacks integrity
Potential District Name	
Status (N/C)	
Criteria	
Area of Significance	

HHM Survey of Downtown and Deep Ellum 2022

Survey Date:	8/5/2020 (Canyon)	
Resource No:	**18 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3900 COMMERCE ST, 32.784657000000003/ -96.770531000000005249	
Function/ Subfunction:	Residential	Single-family house
Form:	Central passage	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1901 (Appraisal district)	
Occupants/ History:		
Prior Designation:	Noncontributing to a Pending NRHP District (Deep Ellum Historic District)	
Prior Documentation:	DART Southeast Corridor Survey (2001), Downtown Dallas & Deep Ellum (HHM, 2021) (Not Eligible (2001), Noncontributing within eligible district (2021))	
NRHP Eligibility:	Maintain previous NRHP listing	
Justification:	Lacks significance, Lacks integrity	
NR District, Status:	Deep Ellum, Noncontributing	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	Porch enclosed, exterior materials replaced, doors and windows replaced	Front addition
Integrity Notes:		
Effect:	None	

Resource No. 18	***See photos on following pages.***

3808 WILLOW ST/ 3900 COMMERCE ST

HHM ID No. 18 (2023)

IDENTIFICATION

Address	3808 WILLOW ST/ 3900 COMMERCE ST	Legal Description	
City Council District	BLK 8/815 INT201700356276 DD12122017 CO-DC COMMERCE & WILLOW PT ABD ST & ALL OF BLK ACS 1.3208 0815 008 00000 7DA0815 008	CAD Parcel ID	WILLOW STREET HOLDINGS LP, 8111 PRESTON RD STE 610, DALLAS, TEXAS, 752256414, UNITED STATES OF AMERICA

CLASSIFICATION

Resource Type		Current Use	Building
Property Type	Multifamily housing	Historic Use	Apartment
Form/Plan	2022		

ARCHITECTURAL DETAILS

Stylistic Influence(s)	In field estimate	Exterior Material(s)	
No. Stories		Exterior Features	
Ground-Level Bays		Upper-Level Bays	

ROOF

Roof Form/Type	
Roof Materials	
Parapet	

DOORS AND WINDOWS

Door Type(s)	
Door Material(s)	
Door Features	
Storefront	
Window type(s)	
Window Material(s)	
Window Features	

ANCILLARY BUILDINGS AND LANDSCAPE

Ancillary Buildings	
Landscape Features	

HHM Survey of Downtown and Dec

HISTORY

Current Name		Historic Name	District 2
Year Built	0	Architect	4B26B5C1-DC00-4692-BE90-E0A343815E69.jpeg
Source Year Built	No stylistic influences visible	Builder	https://data.hhminc.com/system/files/styles/medium/private/images/project-114885/4B26B5C1-DC00-4692-BE90-E0A343815E69.jpeg?itok=D-9owhzn
Associated People	https://data.hhminc.com/system/files/styles/full/private/images/project-114885/4B26B5C1-DC00-4692-BE90-E0A343815E69.jpeg?itok=5kQDu065		
Historical Significance			
Associated Historic Context Theme(s)			
Historical Sources			

INTEGRITY

Alterations		Relocation	https://data.hhminc.com/system/files/styles/full/private/images/project-114885/F9842D42-32AA-47FD-B429-7BF68276B9BC.jpeg?itok=5umN_fOh
Additions	F9842D42-32AA-47FD-B429-7BF68276B9BC.jpeg		

PRIOR DOCUMENTATION

Designation(s)	Low
Designation Name(s)	Within district eligible for NRHP

LOCAL RECOMMENDATIONS

Recommendation	
Justification	
Potential District Name	Noncontributing
Status (N/C)	Within district
Criteria	Not historic age

NATIONAL REGISTER (NRHP) RECOMMENDATIONS

Recommendation	
Justification	
Potential District Name	ca. 1937 warehouse demolished in 2022
Status (N/C)	During survey in 2021, owner noted that the former warehouse on the site would be torn down in the next few months.
Criteria	
Area of Significance	

HHM Survey of Downtown and Deep Ellum 2022

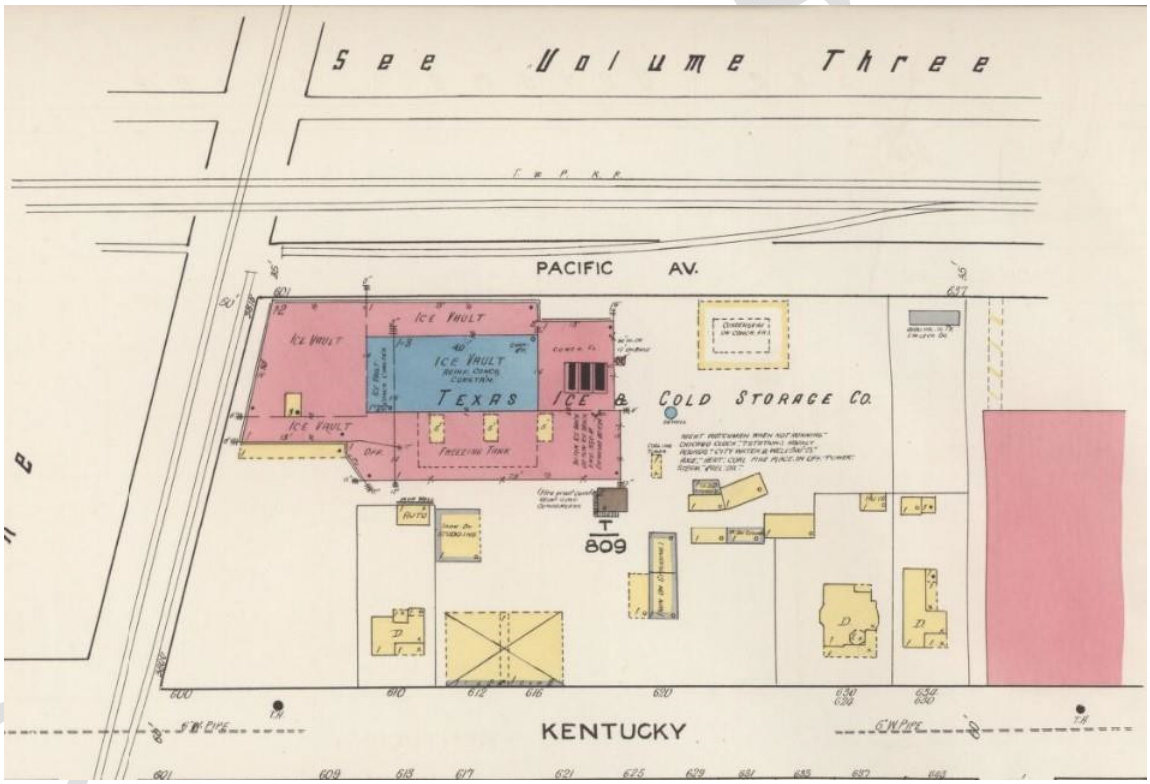
Survey Date:	1/21/2021 (HHM)	
Resource No:	**19 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	4008 COMMERCE ST, 32.784503999999998/ -96.769416000000007524	
Function/ Subfunction:	Industrial	Ice House
Form:	Irregular	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1913 (Appraisal district)	
Occupants/ History:		
Prior Designation:	Contributing to a Pending NRHP District (Deep Ellum Historic District)	
Prior Documentation:	IH 30 Canyon (2020), Downtown Dallas & Deep Ellum (HHM, 2021); I-30 East Corridor Project (HNTB, Sept. 2022, Resource #15) (Eligible for Individual Listing in NRHP (Aggregator), Recommended NRHP Eligible (2020), Within eligible district (2021))	
NRHP Eligibility:	Individually eligible for NRHP, Maintain previous NRHP listing	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Deep Ellum, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Ethnic History, Commerce, Social History, Industry, Architecture, Local level of significance	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 19	***See photos on following pages.***

Survey Date:	8/5/20
Resource No:	19 HHM [29/Texas Ice House (I-30 Canyon 2020)]
Project Location:	Dallas County
Project Name and CSJ:	IH 30 Canyon Improvements Project; 0009-11-254
Address, Lat/Long:	4008 Commerce Street; 32.78448 -96.76951
Function/Sub-function:	Industrial/Ice House
Construction Date:	1913
NRHP Eligibility:	Eligible
Integrity/Comments:	The Texas Ice House is an ice factory and vault constructed of multiple components ranging from one to three stories in height. Constructed of concrete and brick, the historic-age core of the Texas Ice House has remained unchanged since at least 1921 when the building was drawn on a Sanborn map (see photographs). By 1950, an updated Sanborn map shows that an open frame canopy was added to the resource's north-facing loading dock. A company history on the Texas Ice House website indicates that the building was constructed in 1913 and purchased by the Hinckley family in 1940. The Hinckley family converted the icehouse into a cold storage facility to serve local businesses in need of refrigerated space. The building served as the operational headquarters for Hinckley Cold Storage until circa 1997, when the Texas Ice House name was reinstated. Due to the nature of the operation, the rectangular Texas Ice House building is largely windowless. Windows are located on portions of the first and second story of the building's north, south, and east elevations, where historic-age double-hung sashes and glass block- filled openings provide light to the resource's shop and office areas. Garage bays on the north, south, and east elevations are covered in rolling metal doors while metal flush doors cover the building's multiple pedestrian entrances. The Texas Ice House sits at the junction of the Santa Fe and Texas and Pacific railroads near historic-age commercial and industrial development. Shed-roofed loading docks are located on the building's north and south elevations. The property possesses integrity in the areas of location, setting, design, materials, workmanship, feeling, and association. In retaining the ability to evoke a sense of early twentieth-century industrial life in Dallas, the Texas Ice House continues to convey historic significance. The building stands in its original location in an industrial and commercial section of Dallas. The Texas Ice House retains its character-defining elements and possesses integrity in the areas of design, materials, and workmanship. The building continues to evoke a sense of early twentieth-century industrial life in Dallas and retains a direct association with its past as an ice service plant. The Texas Ice House is recommended eligible for inclusion on the NRHP under Criterion A for its historic association with industry in Dallas. As a manufacturer of ice and a cold storage facility, the Texas Ice House has served local food producers and rail cars passing along the nearby tracks since the early twentieth century. Amy Dace's A Field Guide to Texas Industrial Buildings indicates that ice manufacturing facilities were first established in Texas in the late nineteenth century. Prior to the development of local production plants, ice was shipped to Texas cities from northern cities. The expense of transport and product loss due to melting over the long journey led to the development of a localized ice industry and 182 ice plants had been constructed in Texas by 1909. The Texas Ice House provided early- twentieth century Dallas residents with access to affordable ice, allowing for prolonged food storage in the years preceding widespread electric refrigeration. With its historic design intact, the Texas Ice House continues to convey significance as a vital service provider in Dallas.

I-30 Canyon HSR 2020

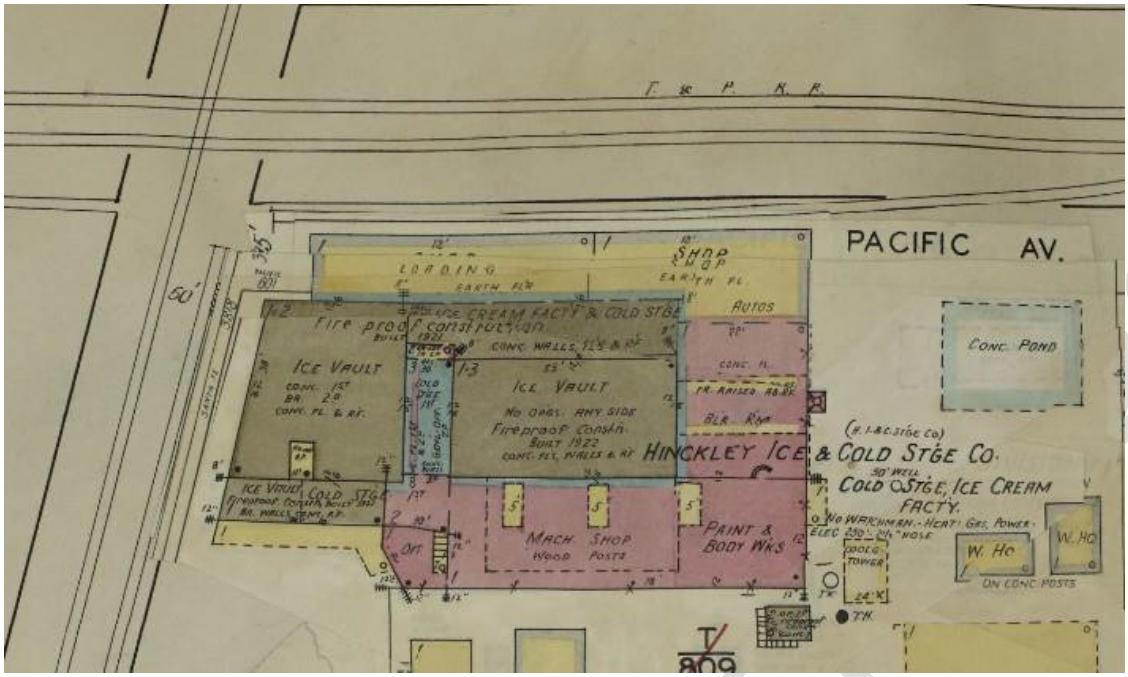
	The Texas Ice House was evaluated under Criterion B for its association with Jere Bob Hinckley. The Hinckley family operated several businesses in the Dallas area, and according to his obituary, Jere Bob Hinckley was a civic and social leader known for his work toward LGBTQ civil rights. While Mr. Hinckley's work with the family-owned cold storage facility did contribute to the commercial history in Dallas, research revealed that his work away from the building in the civic and social realms appears to have made a more significant contribution to local history. Therefore, the property is recommended not eligible under Criterion B. The Texas Ice House was evaluated under Criterion C and appears to possess significance as an early twentieth century ice service plant. The TxDOT Historical Studies Report A Field Guide to Industrial Properties in Texas by Amy E. Dase outlines the character-defining features of ice service buildings. The Texas Ice House retains many of these features, including its rectilinear form, masonry construction, a limited number of windows and shed- roofed platforms. Ms. Dase further identified features associated by the ice service plant subtype that are present at the Texas Ice House. These subtype features include a large massing and scale, interior storage vaults, and electric power. While the resource currently serves exclusively as a cold storage facility, the rental of cooler space was a sideline during the historic period. The practice of including a sideline is an additional character-defining feature associated with ice service plants. Therefore, Resource 19 /Texas Ice House is recommended eligible under Criterion C as an intact, good example of this industrial building type.



Resource 19/Texas Ice House: detail of 1921 Sanborn map

Source: Sanborn Fire Insurance Map from Dallas, Dallas County, Texas. Sanborn Map Company, Vol. 4, 1922. Map. https://www.loc.gov/item/sanborn08492_010/ (Accessed August 28, 2020).

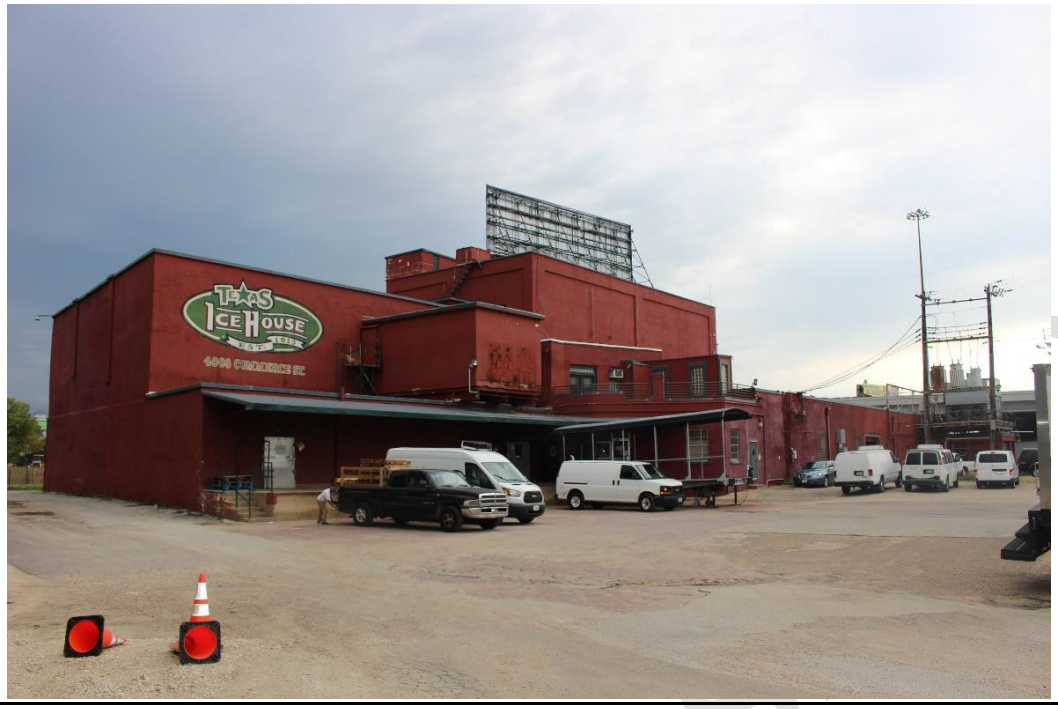
I-35 EIS SR 2020



Resource 19/Texas Ice House: detail of 1950 Sanborn map

Source: Sanborn Fire Insurance Map from Dallas, Dallas County, Texas. Sanborn Map Company, - Aug 1950 Vol. 4, 1950. Map. https://www.loc.gov/item/sanborn08492_016/ (Accessed August 28, 2020

Resource 19: view southwest toward north and east elevations



Resource 19/Texas Ice House: view northeast toward south and west elevations

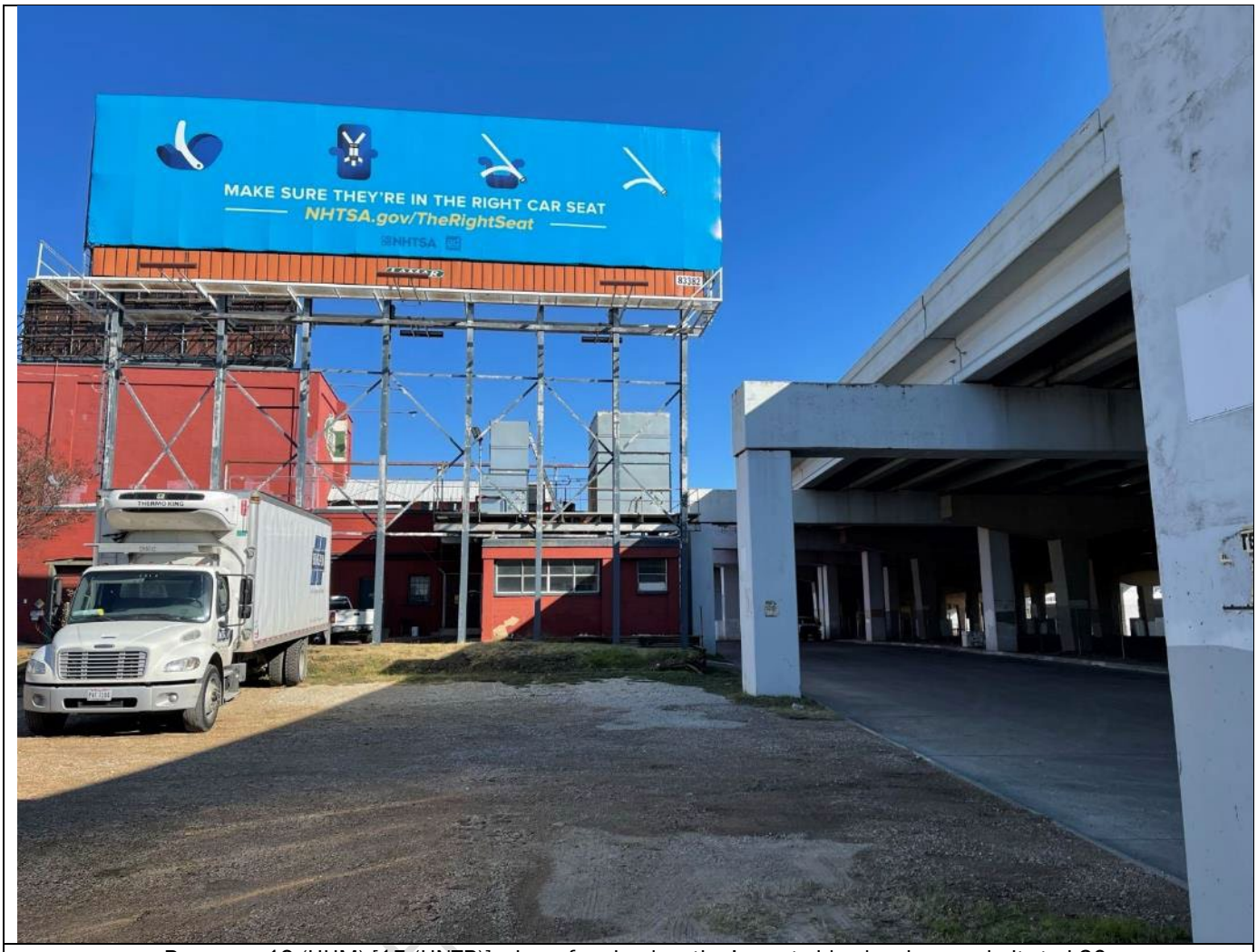
I-30 Canyon HRSR 20

Survey Date:	01/25/2022
Resource No:	19 (HHM) [15 (HNTB)]
Project Location:	Dallas
Project Name and CSJ:	I-30 East Corridor Project; 0009-11-252
Address, Lat/Long:	4008 Commerce Street; 32.78448 -96.76951
Function/Sub-function:	Industrial/Ice House
Construction Date:	1913
NRHP Eligibility:	Eligible; See HHM 2023 survey form (also contributing to Deep Ellum Historic District)
Integrity/Comments:	Resource 19/The Texas Ice House was determined eligible under Criterion A for Industry and Criterion C for Architecture in the 2020 IH-30 Canyon Improvements Project HRSR. The resource is an ice factory and vault constructed of multiple components ranging from one to three stories in height. Constructed of concrete and brick, the historic-age core of the Texas Ice House has remained unchanged since at least 1921 when the building was drawn on a Sanborn map (see photographs). By 1950, an updated Sanborn map shows that an open frame canopy was added to the resource's north-facing loading dock. A company history on the Texas Ice House website indicates that the building was constructed in 1913 and purchased by the Hinckley family in 1940. The Hinckley family converted the icehouse into a cold storage facility to serve local businesses in need of refrigerated space. The building served as the operational headquarters for Hinckley Cold Storage until circa 1997, when the Texas Ice House name was reinstated. Due to the nature of the operation, the rectangular Texas Ice House building is largely windowless. Windows are located on portions of the first and second story of the building's north, south, and east elevations, where historic-age double-hung sashes and glass block filled openings provide light to the resource's shop and office areas. Garage bays on the north, south, and east elevations are covered in rolling metal doors while metal flush doors cover the building's multiple pedestrian entrances. The Texas Ice House sits at the junction of the Santa Fe and Texas and Pacific railroads near historic-age commercial and industrial development. Shed-roofed loading docks are located on the building's north and south elevations. The 2020 HRSR states, "the property possesses integrity in the areas of location, setting, design, materials, workmanship, feeling, and association. In retaining the ability to evoke a sense of early twentieth-century industrial life in Dallas, the Texas Ice House continues to convey historic significance. The building stands in its original location in an industrial and commercial section of Dallas. The Texas Ice House retains its character-defining elements and possesses integrity in the areas of design, materials, and workmanship. The building continues to evoke a sense of early twentieth-century industrial life in Dallas and retains a direct association with its past as an ice service plant." 2022 field survey confirmed that all aspects of integrity are intact. Therefore, Resource 19/The Texas Ice House remains eligible for the NRHP under Criteria A and C.

HNTB Draft HSSR Sept 2022

Resource 19 (HHM) [15 (HNTB)]: view of main (south) elevation

HNTB Draft H



Resource 19 (HHM) [15 (HNTB)]: view of main elevation's east side showing proximity to I-30

HNTB Draft

Survey Date:	1/20/2021 (HHM)	
Resource No:	**20 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3912 WILLOW ST, 32.785834999999999/ -96.770373000000006209	
Function/ Subfunction:	Industrial	Manufacturing building
Form:	Box	
Stylistic Influence(s):	International	
Construction Date:	1938 (Appraisal district)	
Occupants/ History:		
Prior Designation:	Individually listed in NRHP, RTHL, Designated Dallas Local Landmark (G & J Manufacturing Company Building)	
Prior Documentation:	Downtown Dallas & Deep Ellum (HHM, 2021) (Maintain previous individual listing)	
NRHP Eligibility:	Maintain previous NRHP listing	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	Some doors infilled	
Integrity Notes:		
Effect:	None	

Resource No. 20	***See photos on following pages.***

3912 WILLOW ST

HHM ID No. 20 (2023)

IDENTIFICATION

Address	3912 WILLOW ST	Legal Description	LESS ROW BLK 826 LT 1A ACS 2.004 A.W. STEARN 2 VOL2000025/2195 DD02042000 CO-DC 0826 000 01A00 7DA0826 000
City Council District	District 2	CAD Parcel ID	000826000001A0000

CLASSIFICATION

Resource Type	Building	Current Use	Commercial
Property Type	Manufacturing building	Historic Use	Industrial
Form/Plan	Box		

ARCHITECTURAL DETAILS

Stylistic Influence(s)	International	Exterior Material(s)	Brick
No. Stories	2	Exterior Features	
Ground-Level Bays	9	Upper-Level Bays	9

ROOF

Roof Form/Type	Flat
Roof Materials	Not visible
Parapet	Stepped

DOORS AND WINDOWS

Door Type(s)	Multiple entrances
Door Material(s)	Metal
Door Features	Transoms
Storefront	Flush
Window type(s)	Ribbon windows, Casement
Window Material(s)	Metal
Window Features	Sills

ANCILLARY BUILDINGS AND LANDSCAPE

Ancillary Buildings	
Landscape Features	

HHM Survey of Downtown and Dee

HISTORY

Current Name	ECU PARKING FOR -100 ACCT	Historic Name	G & J Manufacturing Company
Year Built	1937	Architect	Eugene Davis (Dallas)
Source Year Built	Local nomination	Builder	
Associated People			
Historical Significance			
Associated Historic Context Theme(s)	Industry, African American history		
Historical Sources	https://dallascityhall.com/departments/sustainabledevelopment/historicpreservation/Pages/GJ-Manufacturing-Company.aspx; https://atlas.thc.texas.gov/NR/pdfs/02000992/02000992.pdf		

INTEGRITY

Alterations	Some doors infilled	Relocation	
Additions			

PRIOR DOCUMENTATION

Designation(s)	Local landmark; Individually listed on NR
Designation Name(s)	G & J Manufacturing Company Building; G & J Manufacturing

LOCAL RECOMMENDATIONS

Recommendation	Maintain previous individual designation, Within district
Justification	Possesses integrity and significance
Potential District Name	Deep Ellum
Status (N/C)	Contributing
Criteria	Refer to local nomination

NATIONAL REGISTER (NRHP) RECOMMENDATIONS

Recommendation	Maintain previous individual listing, Within district
Justification	Possesses integrity and significance
Potential District Name	Deep Ellum
Status (N/C)	Contributing
Criteria	A, C
Area of Significance	Industry, Education, Architecture

HHM Survey of Downtown and Deep Ellum 2022

Survey Date:	1/20/2021 (HHM)	
Resource No:	**21A (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	403 S HASKELL AVE, 32.786712000000001/ -96.768936999999994210	
Function/ Subfunction:	Commercial	Warehouse
Form:	L-plan	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1953 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	Downtown Dallas & Deep Ellum (HHM, 2021) (Not eligible)	
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	Some windows replaced, doors replaced	
Integrity Notes:		
Effect:	None	

Resource No. 21A (997B21C5-1A95-44CE-A190-1334DFF9B15D.jpeg)

Resource No. 21A (795062BD-1B22-4DFB-981E-613EA8BE8D6F.jpeg)	

403 S HASKELL AVE

HHM ID No. 21A (2023)

IDENTIFICATION

Address	403 S HASKELL AVE	Legal Description	0825 000 00100 7DA0825 000 BLK 825 LT 1 LESS ROW ACS 2.1910 KIRKLEY INT201300134442 DD04292013 CO-DC
City Council District	District 2	CAD Parcel ID	8.250000001e+13

CLASSIFICATION

Resource Type	Building	Current Use	Commercial
Property Type	Warehouse, Store	Historic Use	Commercial
Form/Plan	Two-part commercial block		

ARCHITECTURAL DETAILS

Stylistic Influence(s)	Modern commercial	Exterior Material(s)	
No. Stories		Exterior Features	
Ground-Level Bays		Upper-Level Bays	

ROOF

Roof Form/Type	
Roof Materials	
Parapet	

DOORS AND WINDOWS

Door Type(s)	
Door Material(s)	
Door Features	
Storefront	
Window type(s)	
Window Material(s)	
Window Features	

ANCILLARY BUILDINGS AND LANDSCAPE

Ancillary Buildings	
Landscape Features	

HHM Survey of Downtown and De

HISTORY

Current Name	SANDONE MIKE PRODUCTIONS/BELWOOD CABINET	Historic Name	
Year Built	1953	Architect	
Source Year Built	DCAD 2021	Builder	
Associated People			
Historical Significance			
Associated Historic Context Theme(s)			
Historical Sources			

INTEGRITY

Alterations	Some windows replaced, Doors replaced	Relocation	
Additions	Rear addition		

PRIOR DOCUMENTATION

Designation(s)	
Designation Name(s)	

LOCAL RECOMMENDATIONS

Recommendation	Not eligible
Justification	Lacks integrity and/or significance for individual eligibility
Potential District Name	
Status (N/C)	
Criteria	

NATIONAL REGISTER (NRHP) RECOMMENDATIONS

Recommendation	Not eligible
Justification	Lacks integrity and/or significance for individual eligibility
Potential District Name	
Status (N/C)	
Criteria	
Area of Significance	

HHM Survey of Downtown and Deep Ellum 2022

Survey Date:	1/20/2021 (HHM)	
Resource No:	**21B (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	403 S HASKELL AVE, 32.786937999999999/ -96.768992999999995123	
Function/ Subfunction:	Commercial	Warehouse
Form:	Rectangular	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1953 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	Downtown Dallas & Deep Ellum (HHM, 2021) (Not eligible)	
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 21B (795062BD-1B22-4DFB-981E-613EA8BE8D6F.jpeg)

Survey Date:	1/20/2021 (HHM)	
Resource No:	**21C (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	403 S HASKELL AVE, 32.787041000000002/ -96.769198000000003208	
Function/ Subfunction:	Commercial	Warehouse
Form:	Rectangular	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1953 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	Downtown Dallas & Deep Ellum (HHM, 2021) (Not eligible)	
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 21C (B22E9638-3B3C-42AC-9FA8-99A3CCDD25FC.jpeg)

Resource No. 21C (1A96DA17-9EF4-4319-B26C-5484554FF9FB.jpeg)	
Resource No. 21C (D6513463-D602-4A5D-BE40-B81C724D13DC.jpeg)	

Survey Date:	1/20/2021 (HHM)	
Resource No:	**21D (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	403 S HASKELL AVE, 32.786441000000003/ -96.769311000000002207	
Function/ Subfunction:	Commercial	Warehouse
Form:	Rectangular	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1953 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	Downtown Dallas & Deep Ellum (HHM, 2021) (Not eligible)	
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 21D (2BDA2DE2-87D6-424C-A0BC-E50B7AC10B3F.jpeg)

Resource No. 21D (25624AF5-AFC1-461B-B901-A75DA93F2A13.jpeg)	

Survey Date:	12/30/2022	
Resource No:	**22 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	0 S HASKELL AVE, 32.787064000000001/ -96.768572000000006213	
Function/ Subfunction:	Commercial	Store, Warehouse
Form:	Two-part commercial block	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1922 (Appraisal district)	
Occupants/ History:	Farley William C (1945)	
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Some exterior wall materials replaced	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	Some exterior wall materials replaced	
Integrity Notes:		
Effect:	None	

Resource No. 22 (25E97788-DB93-4D16-A47B-7C19C11E264F.jpeg)

Resource No. 22 (582F199C-C0E2-474E-A7CB-3336F8886E68.jpeg)	

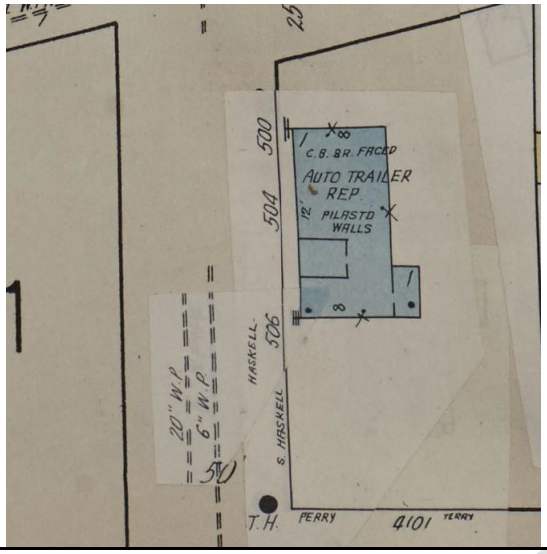
Survey Date:	12/30/2022	
Resource No:	**23 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	500 S HASKELL AVE, 32.786695000000002/ -96.768107000000001212	
Function/ Subfunction:	Commercial	Warehouse
Form:	Rectangular	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1947 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	IH 30 Canyon (2020) (Not Eligible)	
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks integrity	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	Windows and doors infilled, windows and doors replaced	
Integrity Notes:		
Effect:	None	

Resource No. 23 (A5A949EE-5706-4214-A993-7F3602EC0166.jpeg)

Resource No. 23 (83EEDBB1-239E-4567-859B-8A087BEA779C.jpeg)	

Survey Date:	8/4/20
Resource No:	23 (HMM) [32a (I-30 Canyon 2020)]
Project Location:	Dallas County
Project Name and CSJ:	IH 30 Canyon Improvements Project; 0009-11-254
Address, Lat/Long:	500 South Haskell Avenue; 32.78683 -96.76793
Function/Sub-function:	Commercial/Warehouse
Construction Date:	1947
NRHP Eligibility:	Not Eligible
Integrity/Comments:	According to records held by DCAD, Resource 23 was constructed in 1947. 1950 Sanborn maps show that the historic-age core of Resource 23 is a rectilinear concrete block building that served as an auto trailer repair shop (see photographs). A review of aerial photographs shows that an addition was constructed on the northeastern side of Resource 23 between 1956 and 1968. The addition, like the historic-age core, is constructed of concrete block covered in brick veneer. Garage bays at the building's northwest corner on the historic-age core and addition are covered by historic-age rolling metal doors. Window bays along Resource 23's southwestern exterior have been infilled with brick. The southeastern exterior features non-historic hollow core entrance doors, fixed windows, and a garage bay covered with a rolling metal door. Historic-age steel-framed awning windows fenestrate the building's northwestern exterior. Resource 23 sits in a fenced parking lot and is surrounded by a mix of historic-age and non-historic commercial development. Resource 23 retains integrity in the areas of location and setting only. The building stands in its original location within a commercial section of Dallas. The replacement of historic- age doors and infilling of window bays has reduced integrity in the areas of design, materials, and workmanship. With the historic design altered, the building no longer evokes a sense of mid-twentieth century commercial life and does not possess integrity in the area of feeling. Resource 23 no longer retains a direct link to its past as a 1940s commercial building and does not possess integrity in the area of association. Research did not reveal an association between Resource 23 and any events or people that have made significant contributions to history in Dallas. Therefore, the property is recommended not eligible under Criteria A or B. The property was evaluated under Criterion C and is recommended not eligible. The building does not represent a distinctive type or style, nor does it embody design elements of a particular time period. Additionally, the infilling and replacement of doors and windows on the building's southwestern and southeastern elevations has reduced integrity in the areas of design, materials, and workmanship, thereby eliminating the building's ability to convey significance.

I-30 Canyon HRSR 8/20



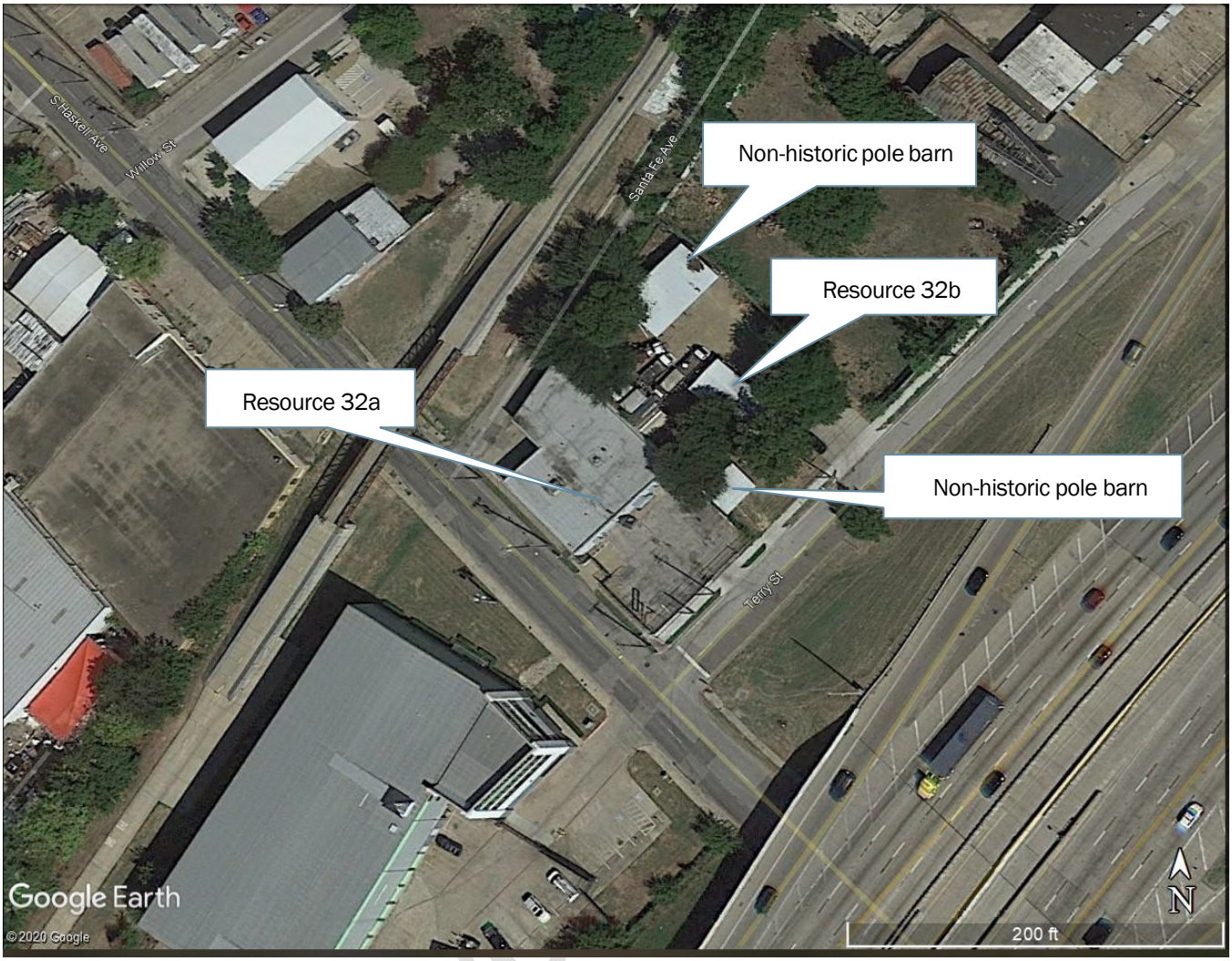
Resource 23 (HMM) [32a (I-30 Canyon 2020)]: detail of 1950 Sanborn map

Source: Sanborn Fire Insurance Map from Dallas, Dallas County, Texas. Sanborn Map Company, - Aug1950 Vol. 3, 1950. Map. https://www.loc.gov/item/sanborn08492_015/ (accessed August 27, 2020).

I-30 Canyon HRSR 2020

Survey Date:	8/4/20
Resource No:	23 (HHM) [32a (I-30 Canyon 2020)]
Project Location:	Dallas County
Project Name and CSJ:	IH 30 Canyon Improvements Project; 0009-11-254
Address, Lat/Long:	500 South Haskell Avenue; 32.78667 -96.76810
Function/Sub-function:	Commercial/Warehouse
Construction Date:	1947; 1989-1995
NRHP Eligibility:	Not Eligible
Integrity/Comments:	Resource 23 consists of a historic warehouse (Resource 23) and a non-historic outbuilding (Resource 23). Resource 23 is a concrete block building with an addition. Many of the building's fenestrations have been infilled or replaced with non-historic materials. Resource 23 is a prefabricated metal building. Resource 23 sits in a fenced parking lot and is surrounded by a mix of historic-age and non-historic commercial development. Non-historic pole barns located on the property provide shade for work areas. These pole barns were inaccessible and not evaluated for this survey. Resource 23 retains integrity in the areas of location and setting only. The building stands in its original location within a commercial section of Dallas. The replacement of historic- age doors and infilling of window bays on the building's single historic-age building has reduced integrity in the areas of design, materials, and workmanship. With the historic design altered, the building no longer evokes a sense of mid-twentieth century commercial life and does not possess integrity in the area of feeling. Resource 23 no longer retains a direct link to its past as a 1940s commercial building and does not possess integrity in the area of association. Resource 23 is not recommended for inclusion on the NRHP under Criterion A in the area of commerce. The historic-age building on this property does not retain integrity and cannot convey significance. Likewise, the property no longer possesses the ability to convey architectural significance and is recommended not eligible under Criterion C. Where applicable, detailed descriptions, developmental histories, integrity discussions, and evaluations of the property's individual resources can be found below.

I-30 Canyon HHSR 2020



Resource 23 (HMM) [32a (I-30 Canyon 2020)]: Site Plan
Source: Google Earth Pro, image dated 2020 (accessed 8/12/2020)

I-30 Canyon

Resource 23 (HMM) [32a (I-30 Canyon 2020)]: view north toward southeast and southwest elevations

Resource 23 (HMM) [32a (I-30 Canyon 2020)]: view south of northwest and northeast elevations

Survey Date:	8/4/20
Resource No:	23 (HHM) [32b (I-30 Canyon 2020)]
Project Location:	Dallas County
Project Name and CSJ:	IH 30 Canyon Improvements Project; 0009-11-254
Address, Lat/Long:	500 South Haskell Avenue; 32.78679 -96.76783
Function/Sub-function:	Commercial/Warehouse
Construction Date:	c. 1989-1995
NRHP Eligibility:	N/A
Integrity/Comments:	A review of historic aerial photographs shows that Resource 23 was constructed between 1989 and 1995. This resource does not meet the historic-age threshold for this project and was therefore not evaluated for the NRHP.

Resource 23 (HHM) [32b (I-30 Canyon 2020)]: view northwest toward southeast and southwest elevations

I-30 Canyon 2020

Survey Date:	12/30/2022	
Resource No:	**24 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	4210 SANTA FE AVE, 32.787554/ -96.767533999999998211	
Function/ Subfunction:	Commercial	Shed
Form:	Rectangular	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1954 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Aerial photo of Resource 21D (4210 Santa Fe Ave.).

Resource No. 24 (E18F2A51-8392-4CC6-AEAF-49313CC0B43E.jpeg)	
Resource No. 24 (437AA2A9-FA95-4250-B735-A0DC28AF589A.jpeg)	

Survey Date:	8/4/2020 (Canyon)	
Resource No:	**25 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	4203 TERRY ST, 32.787309/ -96.76727300000000 3214	
Function/ Subfunction:	Commercial	Warehouse
Form:	Rectangular	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1975 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	IH 30 Canyon (2020) (Not Eligible)	
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 25	***See photos on following pages.***

Survey Date:	8/4/20
Resource No:	25 (HHM) [33 (I-30 Canyon 2020)]
Project Location:	Dallas County
Project Name and CSJ:	IH 30 Canyon Improvements Project; 0009-11-254
Address, Lat/Long:	4203 Terry Street
Function/Sub-function:	Commercial/Warehouse
Construction Date:	1975
NRHP Eligibility:	Not Eligible
Integrity/Comments:	Resource 25 is a steel-framed building clad in metal panels. The building's pedestrian entrance is obscured by a metal security door. Horizontal sliding doors cover garage bays on the resource's southeast and northeast sides. Resource 25 appears to retain integrity in the areas of location, setting, design, materials, and workmanship. The property stands in its original location within a commercial setting. Resource 25 appears to retain its original utilitarian design and historic-age exterior materials. The property lacks integrity in the areas of feeling and association. With no character-defining architectural elements, the building does not evoke a sense of life in a particular time period nor does it possess a direct link to the past. Research did not reveal an association between Resource 25and any events or people that have made significant contributions to history in Dallas. Therefore, the property is recommended not eligible under Criteria A or B. The property was evaluated under Criterion C and is recommended not eligible. Although it retains many aspects of integrity, the building does not represent a distinctive type or style, nor does it embody design elements of a particular era.

Resource 25 (HHM) [33 (I-30 Canyon 2020)]: view northwest toward southeast elevation

Survey Date:	8/4/20 (Canyon)	
Resource No:	**26 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	505 S PEAK ST, 32.787585999999997/ -96.76690399999997216	
Function/ Subfunction:	Commercial	Warehouse
Form:	Rectangular	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1976 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	IH 30 Canyon (2020) (Not Eligible)	
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance, Lacks integrity	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		Multiple additions
Integrity Notes:		
Effect:	None	

Resource No. 26	***See photos on following pages.***

Survey Date:	12/30/2022	
Resource No:	**27 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	500 S PEAK ST, 32.788558000000002/ -96.766865999999993215	
Function/ Subfunction:	Commercial	Warehouse
Form:	Rectangular	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1951 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 27 (4C1478EE-AD9B-4F6F-BDCF-C66D93240BB0.jpeg)

Survey Date:	12/30/2022	
Resource No:	**28 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	500 ANN AVE, 32.788994000000002/ -96.765777218	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	Craftsman	
Construction Date:	1915 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Individually eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	Criterion C, Architecture, Local level of significance	
Alterations/Additions:		Rear addition
Integrity Notes:		
Effect:	None	

Resource No. 28 (8675E82A-5058-4608-A7ED-DD0BEE3640C9.jpeg)

Resource No. 28 (CFFE1D21-4BA0-4B7E-A1A5-681E9BC53003.jpeg)	

Survey Date:	12/30/2022	
Resource No:	**29 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	504 ANN AVE, 32.788893999999999/ -96.765666999999993217	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	Craftsman	
Construction Date:	1915 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks integrity	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	All windows replaced, Doors replaced	
Integrity Notes:		
Effect:	None	

Resource No. 29 (722F069D-060D-4275-9E97-B84437516BCA.jpeg)

Resource No. 29 (6F10F8ED-2310-4664-97FB-148E4B76E7E6.jpeg)	

Survey Date:	1/26/2022 (HNTB)	
Resource No:	**30 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	505 S CARROLL AVE, 32.789116999999997/ -96.765130999999997250	
Function/ Subfunction:	Commercial	Gas station/Auto repair
Form:	House with canopy	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1965 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	I-30 East Corridor Project (HNTB, Sept. 2022, Resource #76) (Not eligible)	
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		Side addition, Canopies added
Integrity Notes:		
Effect:	None	

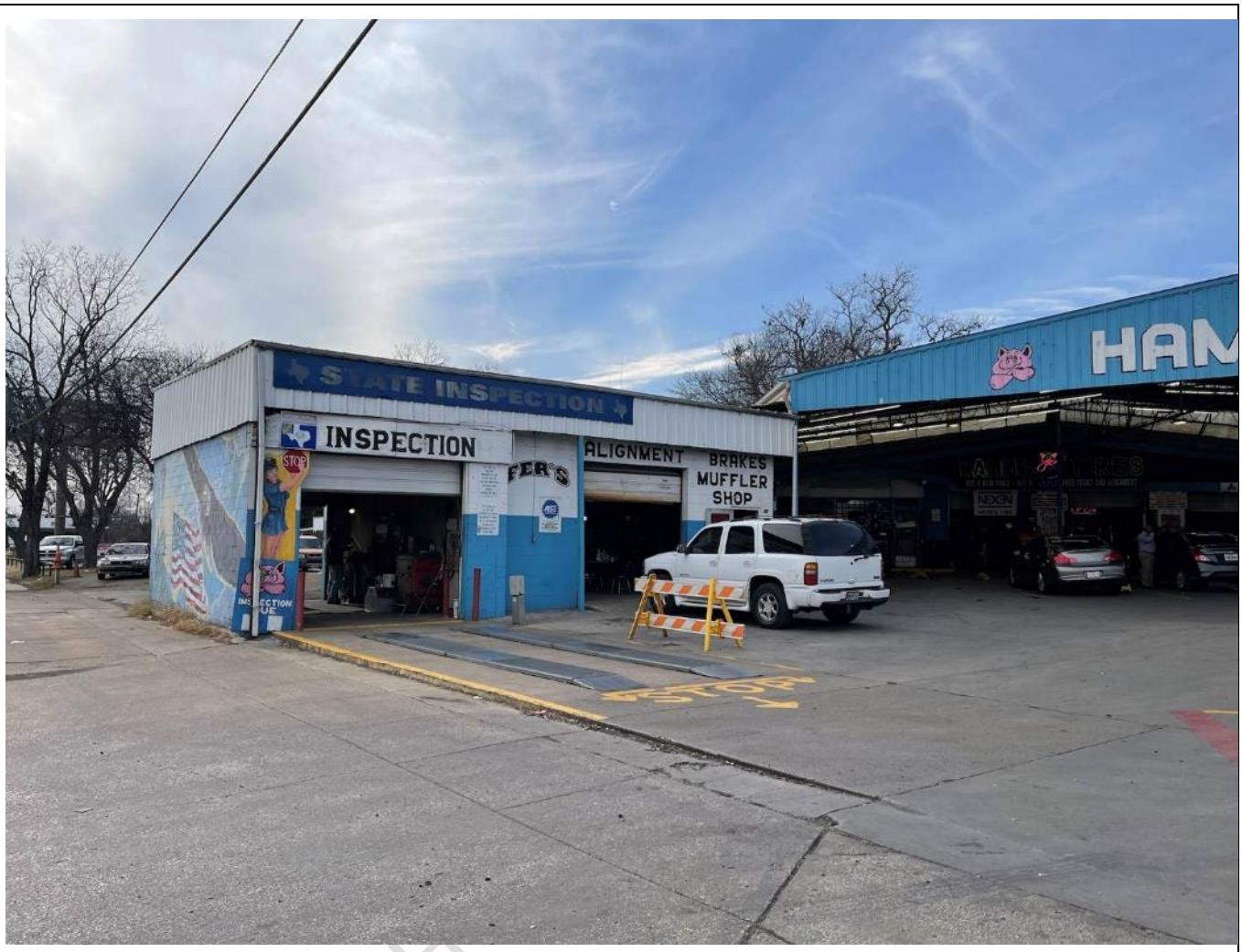
Resource No. 30	***See photos on following pages.***

Survey Date:	01/26/2022
Resource No:	30 (HHM) [76 (HNTB)]
Project Location:	Dallas
Project Name and CSJ:	I-30 East Corridor Project; 0009-11-252
Address, Lat/Long:	505 South Carroll Avenue; 32.789080, -96.765166
Function/Sub-function:	Commercial/Automotive Repair
Construction Date:	1965
NRHP Eligibility:	Not Eligible
Integrity/Comments:	Resource 30 is a Ranch House style Shell gas station that has been altered with canopies and additions that obscure its original form. It currently has a series of irregularly-shaped canopies on three elevations, but historic aerial photography shows that Resource 30 originally had only two, small, free-standing canopies located southeast and northeast of the main building. At the time of survey, there were no gas pumps or islands extant on the property. The façade of Resource 30 is typical of Shell gas stations of the period and features a long, low form; a two-part front-gabled roof with the secondary gable inset as an office or retail space; brick exterior finishes; large plate glass windows; and multiple service bays. There have been non-historic changes to several of the character-defining features including a metal-clad addition on the northeast elevation, non-historic painting of all elevations including the gable windows, and the application of security bars over the original metal and fixed glass storefront. Between 1981 and 1989, the two original canopies were removed and the large, irregularly shaped canopy across the façade was installed. A large canopy was also installed on the rear elevation. Also, between 1981 and 1989, a small auxiliary service building was constructed on the south corner of the parcel. Between 1995 and 2001, an additional canopy was installed between the auxiliary building and the main building. Resource 30 no longer operates as a Shell station. It is an automotive repair and tire shop. It is unknown when the change from Shell to Hamm's Tires occurred. Resource 30 sits on a paved corner lot with no landscaping or fencing. Resource 30 retains integrity in the aspects of location and setting. Resource 30 has not been moved, and its viewshed has changed little since its 1965 construction. Resource 30 no longer retains integrity of materials, design, workmanship, or feeling. Painting the exterior brick and some windows, removing the historic-age gas pumps, and replacing the historic-age canopies with large, non-historic canopies has significantly compromised the resource's integrity of materials, design, and workmanship. Because so much historic-age material has been lost or obscured, the resource no longer retains integrity of feeling or association as a 1965 Shell gas station. Therefore, Resource 30 is recommended not eligible for the NRHP under Criterion C. Resource 30 does not appear to have an association with significant historical events or individuals important to development of Dallas, Texas. Therefore, Resource 30 is recommended not eligible for the NRHP under Criteria A or B.

HNTB Draft HHSR September 2022

Resource 30 (HHM) [76 (HNTB)]: view of façade (southeast elevation) under large canopy

HNTB Draft



Resource 30 (HHM) [76 (HNTB)]: auxiliary building, facing west

HNTB Draft

Resource 30 (HHM) [76 (HNTB)]: view of non-historic addition on northeast elevation

HNTB Draft

Survey Date:	12/30/2022	
Resource No:	**31 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	406 S CARROLL AVE, 32.789749999999998/ -96.765142999999995219	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1967 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 31 (579566CE-4C5E-4E0F-BAE2-ADB96BB93510.jpeg)

Survey Date:	1/26/2022 (HNTB)	
Resource No:	**32 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	4516 BIRCH ST, 32.789910999999996/ -96.76437251	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1957 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	I-30 East Corridor Project (HNTB, Sept. 2022, Resource #75) (Not eligible)	
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks integrity	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	Exterior wall materials replaced, Porch altered, Windows replaced, Doors replaced	Rear additions
Integrity Notes:		
Effect:	None	

Resource No. 32	***See photos on following pages.***

Survey Date:	01/26/2022
Resource No:	32 (HHM) [75 (HNTB)]
Project Location:	Dallas
Project Name and CSJ:	I-30 East Corridor Project; 0009-11-252
Address, Lat/Long:	4516 Birch Street; 32.789876, -96.764371
Function/Sub-function:	Residence
Construction Date:	1957
NRHP Eligibility:	Not Eligible
Integrity/Comments:	Resource 32 is a one-story, front-gabled residence clad entirely in non-historic brick veneer. All windows and doors are non-historic vinyl and metal replacement units. Resource 32 features a prominent multi-arched front porch that, based on a 1957 construction date, does not appear to be a reconstruction of an original feature. Aerial imagery shows there are two non-historic rear additions. One appears to be a flat-roofed porch canopy, and the other is a gabled addition, presumable to expand interior living space. Resource 32's front yard is grassy lawn and a non-historic brick walkway. The property is defined by a prominent, non-historic brick and metal fence at the front, and a non-historic metal and wood privacy fence at the rear. Resource 32 retains integrity in the aspect of location only, because it has not been moved. Resource 32 no longer retains integrity in the aspects of materials, design, workmanship, setting, feeling, or association. The application of non-historic cladding material, replacement windows and doors, and the two rear additions have compromised integrity of materials, design, and workmanship. Integrity of setting has been negatively impacted by the construction of I-30 and nearby non-historic infill. Because Resource 32 has no visible historic-age material, it no longer retains integrity of feeling or association as a mid-20th century residence. Therefore, Resource 32 is recommended not eligible for the NRHP under Criterion C. Resource 32 does not appear to have an association with significant historical events or individuals important to development of Dallas, Texas. Therefore, Resource 32 is recommended not eligible for the NRHP under Criteria A or B.

HNTB Draft HRSR September 2022

Resource 32 (HHM) [75 (HNTB)]: view of façade oblique facing southwest showing non-historic brick veneer and fence

HNTB Draft

Resource 32 (HHM) [75 (HNTB)]: view of façade (northwest elevation), non-historic infill visible at right

HNTB Draft

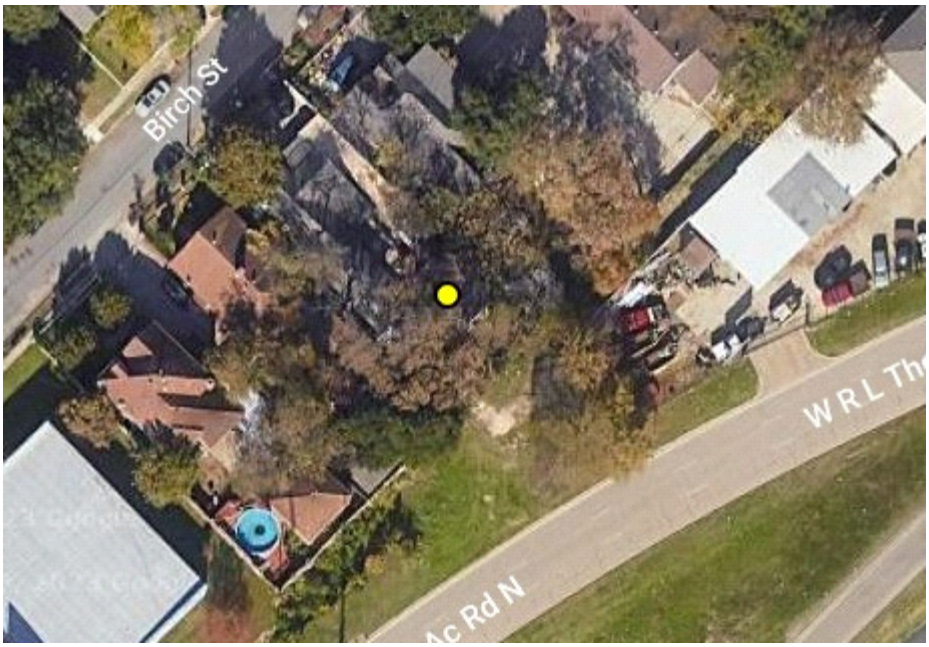
Survey Date:	12/30/2022	
Resource No:	**33A (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	4520 BIRCH ST, 32.789994999999998/ -96.764269999999996220	
Function/ Subfunction:	Residential	Single-family house
Form:	L-plan	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1910 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks integrity	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	All windows replaced, Exterior wall materials replaced, Fenestration pattern altered, Porch enclosed	Side carport addition
Integrity Notes:		
Effect:	None	

Resource No. 33A (34B83EB8-BAC2-4076-B6CE-336929D192C4.jpeg)

Resource No. 33A (5F96F4AD-9ABC-461F-BDD6-5570EA1B43AE.jpeg)	

Survey Date:	1/13/2023	
Resource No:	**33B (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	4520 BIRCH ST, 32.789890999999997/ -96.764105000000001119	
Function/ Subfunction:	Residential	Garage
Form:	Rectangular	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1910 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks integrity	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	Associated front house lacks integrity	
Integrity Notes:	Limited visibility	
Effect:	None	

Resource No. 33B (4520 Birch B.jpg)



Survey Date:	12/30/2022	
Resource No:	**34 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	4524 BIRCH ST, 32.790098/ -96.764110000000002221	
Function/ Subfunction:	Residential	Single-family house
Form:	L-plan	
Stylistic Influence(s):	National Folk	
Construction Date:	1910 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks integrity	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	All windows replaced, Exterior wall materials replaced, Fenestration pattern altered, Doors replaced	Side addition
Integrity Notes:		
Effect:	None	

Resource No. 34 (8F1CA7A9-4D50-4FCF-841F-D2D95FD49CCA.jpeg)

Resource No. 34 (C9CFD50D-370C-48CE-9BCD-37A71721DE81.jpeg)	

Survey Date:	12/30/2022	
Resource No:	**35 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	4532 BIRCH ST, 32.790244999999999/ -96.76388222	
Function/ Subfunction:	Residential	Church
Form:	Bungalow	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1970 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks integrity	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		Front addition
Integrity Notes:		
Effect:	None	

Resource No. 35 (CA44ECD1-963D-468E-8A0E-6D74DCD8B763.jpeg)

Resource No. 35 (47E7D961-17DB-449B-ADB1-C3464705C255.jpeg)	

Survey Date:	12/30/2022	
Resource No:	**36 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	4536 BIRCH ST, 32.790387000000003/ -96.763756999999998223	
Function/ Subfunction:	Residential	Single-family house
Form:	Square plan hipped-roof	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1908 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks integrity	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	All windows replaced, Some windows replaced	
Integrity Notes:		
Effect:	None	

Resource No. 36 (FA57085A-A3C6-4080-8EC4-8DCAD6F79603.jpeg)

Resource No. 36 (D5D3A850-EA7C-4713-AA15-14A2A7CEBE6D.jpeg)	

Survey Date:	12/30/2022	
Resource No:	**37A (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	4540 BIRCH ST, 32.790488000000003/ -96.763689999999997224	
Function/ Subfunction:	Residential	Single-family house
Form:	Square plan hipped-roof	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1910 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks integrity	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	All windows replaced, Exterior wall materials replaced, Porch altered, Doors replaced	
Integrity Notes:		
Effect:	None	

Resource No. 37A (8E99D3A3-3B67-4F4C-8C8A-2E111B57F130.jpeg)

Resource No. 37A (2DAE3C5F-E84D-474B-BB15-5EB21BBDCD4E.jpeg)	

Survey Date:	1/13/2023	
Resource No:	**37B (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	4540 BIRCH ST, 32.790376999999999/ -96.763662999999994118	
Function/ Subfunction:	Residential	Shed
Form:	Rectangular	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1960 (In field estimate)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks integrity	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	Door replaced, Associated house lacks integrity	
Integrity Notes:		
Effect:	None	

Resource No. 37B (4540 Birch B.jpg)

Survey Date:	12/30/2022	
Resource No:	**38 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	509 BANK ST, 32.790325000000003/ -96.763570000000001225	
Function/ Subfunction:	Residential	Single-family house
Form:	Square plan hipped-roof	
Stylistic Influence(s):	National Folk	
Construction Date:	1910 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks integrity	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	All windows replaced, Exterior wall materials replaced, Doors replaced	
Integrity Notes:		
Effect:	None	

Resource No. 38 (E82D79E9-4667-424B-AC55-1BAED9DC61D8.jpeg)

Resource No. 38 (1A0F016C-E2DF-4C18-91B1-FD6308C0E2B8.jpeg)	

Survey Date:	12/27/2022 (HHM)
District Name:	**MT. AUBURN/ SANTA FE HISTORIC DISTRICT (HHM)**
Resource Nos.:	**39A-B, 41-60B, 62-98, 102**
Project Location:	Dallas County, Dallas District
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251
Rough Boundaries:	W R L Thornton Access Road on the south, Willow Street/Santa Fe Trail (the former Santa Fe rail corridor) on the west, Cameron Avenue on the north, and E. Grand Avenue on the east
Functions/ Subfunctions:	Residential, Commercial/ Single-family house, Duplex house, Store
Forms:	Bungalow, Square plan hipped-roof, One-part commercial block
Stylistic Influence(s):	National Folk, Craftsman, Minimal Traditional
Construction Dates:	1900-1950 (Appraisal district)
NRHP Eligibility:	Eligible as a district
NR District, Status:	Mt. Auburn/ Santa Fe,
Criteria, Notes:	Criterion A, Criterion C, Architecture, Community Planning & Development, Ethnic Heritage, Local level of significance; Period of significance 1902-1973; Borderline integrity in some areas; intensive would be needed to refine boundaries
Alterations/ Additions:	Windows and doors sometimes changed, Masonry veneers and garden walls sometimes signify shift to Mexican American ethnic heritage/
Integrity Notes:	
Effect:	Adverse effect to contributing resource 4937 Lindsley Avenue (Resource ID 69); *de minimis* ROW acquisition at parcel encompassing contributing resource at 4809 Ash Lane (Resource ID 44)

Overview map showing the recommended Mt. Auburn/Santa Fe Historic District. Boundary shown in blue, contributing resources in green, noncontributing resources in red. See Appendix D for a larger-scale map and legend.

Recommended Mt. Auburn/Santa Fe Historic District, contextual photos (outside of APE).

Recommended Mt. Auburn/Santa Fe Historic District, contextual photos (outside of APE).

Recommended Mt. Auburn/Santa Fe Historic District, contextual photos (outside of APE).

Survey Date:	12/30/2022	
Resource No:	**39A (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	410 BANK ST, 32.790877000000002/ -96.763660000000002226	
Function/ Subfunction:	Residential	Single-family house
Form:	Square plan hipped-roof	
Stylistic Influence(s):	National Folk	
Construction Date:	1912 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Mt. Auburn/ Santa Fe, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Community Planning & Development, Ethnic Heritage, Local level of significance	
Alterations/Additions:	All windows replaced, Exterior wall materials replaced	
Integrity Notes:		
Effect:	None	

Resource No. 39A (9950A158-9099-459E-9245-E11D8D8AFA81.jpeg)

Resource No. 39A (CA7E1AE6-DD04-46F0-BC88-B58EE07EE4AA.jpeg)	

Survey Date:	1/13/2023	
Resource No:	**39B (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	410 BANK ST, 32.790975000000003/ -96.763523000000006117	
Function/ Subfunction:	Residential	Garage
Form:	Rectangular	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1940 (In field estimate)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Mt. Auburn/ Santa Fe, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Community Planning & Development, Ethnic Heritage, Local level of significance	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 39B (CA7E1AE6-DD04-46F0-BC88-B58EE07EE4AA.jpeg)

Survey Date:	12/29/2022	
Resource No:	**40 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	4612 TERRY ST, 32.790399000000001/ -96.762454000000005252	
Function/ Subfunction:	Commercial	Workshop
Form:	Rectangular	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1960 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	I-30 East Corridor Project (HNTB, Sept. 2022, Resource #74) (Not eligible)	
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	Original primary building demolished, Windows and doors enclosed	
Integrity Notes:		
Effect:	None	

Resource No. 40	***See photos on following pages.***

Survey Date:	01/26/2022
Resource No:	40 (HHM) [74 (HNTB)]
Project Location:	Dallas
Project Name and CSJ:	I-30 East Corridor Project; 0009-11-252
Address, Lat/Long:	4612 Terry Street; 32.790369. -96.762458
Function/Sub-function:	Commercial
Construction Date:	1960
NRHP Eligibility:	Not Eligible
Integrity/Comments:	Resource 40 is a one-story, L-shaped building with a gabled and hipped roof. It is clad entirely in a mix of historic-age and non-historic corrugated metal sheets. There are no visible window or door openings, though they may exist under the metal panels. The resource is abandoned. Vegetation is growing on and through the building. A billboard has been constructed directly in front of that façade. Historic aerial photographs suggest that Resource 40 was a workshop or storage building for a home or business located on the north end of the parcel. That structure was demolished between 1995 and 2001 when almost all of the block was cleared. It is unknown why Resource 40 was left in place. Non-historic infill was constructed east of the resource between 2004 and 2008. Resource 40 retains integrity in the aspect of location only, because it has not been moved. Because Resource 40 is entirely covered by historic-age and non-historic metal panels that cover all windows and doors and because vegetation is growing on and through the building, Resource 40 does not retain integrity in the aspects of materials, design, or workmanship. The demolition of all structures on the block between 1995 and 2001 and the construction of large, non-historic infill between 2004 and 2008 have negated the resource's integrity of setting. The loss of its main structure and the resource's inability to convey its historic use have negatively impacted its integrity of feeling and association. Therefore, Resource 40 is recommended not eligible for the NRHP under Criterion C. Resource 40 does not appear to have an association with significant historical events or individuals important to development of Dallas, Texas. Therefore, Resource 40 is recommended not eligible for the NRHP under Criteria A or B.

HNTB Draft HTSR September 2022

Resource 40 (HHM) [74 (HNTB)]: view of rear (south) elevation showing non-historic infill and billboard, Source: Google Streetview

HNTB Draft HRSI

Resource 40 (HHM) [74 (HNTB)]: view of west elevation with non-historic infill and billboard, Source: Google Streetview

HNTB Draft HRSR

Survey Date:	12/29/2022	
Resource No:	**41 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	4800 TERRY ST, 32.791372000000003/ -96.761752999999999253	
Function/ Subfunction:	Residential	Duplex house
Form:	Modified L-plan	
Stylistic Influence(s):	National Folk	
Construction Date:	1910 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	I-30 East Corridor Project (HNTB, Sept. 2022, Resource #18) (Not eligible)	
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Mt. Auburn/ Santa Fe, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Community Planning & Development, Ethnic Heritage, Local level of significance	
Alterations/Additions:	Exterior materials partially replaced, Windows replaced	
Integrity Notes:		
Effect:	None	

Resource No. 41	*See photos on following pages.*

Survey Date:	01/25/2022
Resource No:	41 (HHM) [18 (HNTB)]
Project Location:	Dallas
Project Name and CSJ:	I-30 East Corridor Project; 0009-11-252
Address, Lat/Long:	4800 Terry Street; 32.791362, -96.761780
Function/Sub-function:	Residence
Construction Date:	1910
NRHP Eligibility:	See HHM 2023 survey form (contributing to Mt. Auburn/Santa Fe Historic District) (Not Eligible per HNTB)
Integrity/Comments:	See HHM survey form; Retains sufficient integrity for district threshold per Table G-2 in Appendix G (HHM). Per HNTB: Resource 41 is a one-story Folk Victorian cottage standing on a concrete slab. The house faces northwest and is clad in non-historic clapboards. Non-historic 6 over 6 vinyl double-sash windows and non-historic vinyl doors with a six paneled light fenestrate the main elevation. The doors are covered by non-historic vinyl storm doors with fixed windows. The house has a central hipped roof and two projecting gables clad in asphalt shingles. One of the projected roofs is a front-facing gable on the main elevation with a fixed window on its gable wall. An interior historic-age brick chimney saddles the side gable roof. Two porches line the main elevation flanking the front gable projection and are topped with shed roofs supported by wooded posts. The southwest side elevation has three non-historic 6 over 6 vinyl double-sash windows. The northeast side elevation has similar non-historic windows. The roof comes to a lower shed roof on the side elevation and the rear of the building. Resource 41 retains integrity in the aspects of location and setting only. The property stands in its original location within a residential setting. Changes to historic-age materials and the fenestration have reduced integrity in the aspects of design, materials, and workmanship. Without the ability to convey significance in the aspect of design, the building no longer evokes a sense of a residence in the early-twentieth century. Due to the design changes, Resource 41 no longer possesses a direct link to the past and does not retain integrity in the aspect of association. Research did not reveal an association between Resource 41 and any events or people that have made significant contributions to history in Dallas. Therefore, the property is recommended not eligible under Criterion A or B. The property was evaluated under Criterion C and is recommended not eligible. Although it retains some aspects of integrity and is recognizable as a Folk Victorian cottage, changes to historic-age materials inhibit its ability to convey significance of a particular era.

HNTB Draft HASR Report October 2022

Resource 41 (HHM) [18 (HNTB)]: view of facade (northwest elevation)

HNTB Draft

Resource 41 (HHM) [18 (HNTB)]: oblique view of façade and northeast elevation

HNTB Draft

Resource 41 (HHM) [18 (HNTB)]: view of southwest elevation

HNTB Draft

Survey Date:	12/29/2022	
Resource No:	**42A (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	4804 TERRY ST, 32.791466/ -96.761636999999993254	
Function/ Subfunction:	Residential	Duplex house
Form:	Square plan hipped-roof	
Stylistic Influence(s):	National Folk	
Construction Date:	1910 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	I-30 East Corridor Project (HNTB, Sept. 2022, Resource #19) (Not eligible)	
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Mt. Auburn/ Santa Fe, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Community Planning & Development, Ethnic Heritage, Local level of significance	
Alterations/Additions:	Windows replaced, One window enclosed, Porch posts replaced	
Integrity Notes:	Some alterations historic-age	
Effect:	None	

Resource No. 42A	*See photos on following pages.*

Survey Date:	01/25/2022
Resource No:	42A (HHM) [19 (HNTB)]
Project Location:	Dallas
Project Name and CSJ:	I-30 East Corridor Project; 0009-11-252
Address, Lat/Long:	4804 Terry Street; 32.791468, -96.761679
Function/Sub-function:	Residence
Construction Date:	1910
NRHP Eligibility:	See HHM 2023 survey form (contributing to Mt. Auburn/Santa Fe Historic District) (Not Eligible per HNTB)
Integrity/Comments:	See HHM survey form; Retains sufficient integrity for district threshold per Table G-2 in Appendix G (HHM). Per HNTB: Resource 42A is a one-story house standing on a concrete slab. The house faces northwest and is clad in clapboards. Two non-historic 6-over-6 vinyl double-sash windows and two non-historic doors fenestrate the main elevation. The door which accesses 4804 Terry Street is covered by a non-historic windowed storm door with two fixed lights. The windows are covered by non-historic metal bars. The house has a hipped roof clad in non-historic asphalt shingles. At the center of the roof on the main elevation is a hipped roof dormer. The dormer's historic-age window has been infilled with large non-historic clapboards. Two interior historic-age brick chimneys saddle the roof. The main elevation is accessed from a front porch which is topped with a shallow hipped roof and non-historic metal posts. The northeast side elevation is fenestrated by non-historic 6 over 6 vinyl double-sash windows. The roof comes to a lower shed roof at the side and rear elevations. Resource 42A retains integrity in the aspects of location and setting only. The property stands in its original location within a residential setting. The replacement of the historic-age porch posts in addition to other changes to historic-age materials and the fenestration have reduced integrity in the aspects of design, materials, and workmanship. Without the ability to convey significance in the aspect of design, the building no longer evokes a sense of a residence in the early-twentieth century. Due to the design changes, Resource 42A no longer possesses a direct link to the past and does not retain integrity in the aspect of association. Research did not reveal an association between Resource 42A and any events or people that have made significant contributions to history in Dallas. Therefore, the property is recommended not eligible under Criterion A or B. The property was evaluated under Criterion C and is recommended not eligible. Although it retains some aspects of integrity and is recognizable as a Folk Victorian cottage, changes to historic-age materials inhibit its ability to convey significance of a particular era.

HNTB Draft HSSR September 2022

Resource 42A (HHM) [19 (HNTB)]: view of façade (northwest elevation)

HNTB Draft

Resource 42A (HHM) [19 (HNTB)]: obligue view of façade and northeast elevation

HNTB Draft

Survey Date:	1/13/2023	
Resource No:	**42B (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	4804 TERRY ST, 32.791345999999997/ -96.761497000000006116	
Function/ Subfunction:	Residential	Garage
Form:		
Stylistic Influence(s):		
Construction Date:	1910 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Mt. Auburn/ Santa Fe, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Community Planning & Development, Ethnic Heritage, Local level of significance; Assumed based on context given limited visibility	
Alterations/Additions:		
Integrity Notes:	Visibility limited	
Effect:	None	

Resource No. 42B	*See photos on following pages.*

Survey Date:	1/25/2022 (HNTB)	
Resource No:	**43 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	4808 TERRY ST, 32.791544000000002/ -96.761500999999996255	
Function/ Subfunction:	Residential	Single-family house
Form:	Square plan hipped-roof	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1910 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	I-30 East Corridor Project (HNTB, Sept. 2022, Resource #20) (Not eligible)	
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Lacks significance, Lacks integrity	
NR District, Status:	Mt. Auburn/ Santa Fe, Noncontributing	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	Windows replaced, Doors replaced, Fenestration altered, Porch altered	Dormer added
Integrity Notes:		
Effect:	None	

Resource No. 43	*See photos on following pages.*

Survey Date:	01/25/2022
Resource No:	43 (HHM) [20 (HNTB)]
Project Location:	Dallas
Project Name and CSJ:	I-30 East Corridor Project; 0009-11-252
Address, Lat/Long:	4808 Terry Street; 32.791569, -96.761561
Function/Sub-function:	Residence
Construction Date:	1910
NRHP Eligibility:	See HHM 2023 survey form (noncontributing to Mt. Auburn Santa Fe Historic District) (Not Eligible per HNTB)
Integrity/Comments:	Resource 43 is a one-story house standing on a concrete slab. The house faces northwest and is clad in non-historic fiber cement clapboards. Two non-historic vinyl casement windows and a non-historic door flanked by side lights fenestrate the main elevation. The house has a hipped roof clad in non-historic asphalt shingles. At the center if the roof on the main elevation is a hipped roof dormer. The dormer is clad in non-historic staggered shake shingles and has a non-historic fixed vinyl window. The main elevation is accessed from a front porch which has four non-historic wood posts supporting the roof. The southwest elevation has on non-historic vinyl casement window and three non-historic fixed vinyl windows. Resource 43 retains integrity in the aspects of location and setting only. The property stands in its original location within a residential setting. The replacement of the historic-age porch posts in addition to other changes to historic materials and the fenestration have reduced integrity in the aspects of design, materials, and workmanship. Without the ability to convey significance in the aspect of design, the building no longer evokes a sense of a residence in the early-twentieth century. Due to the design changes, Resource 43 no longer possesses adirect link to the past and does not retain integrity in the aspect of association. Research did not reveal an association between Resource 43 and any events or people that have made significant contributions to history in Dallas. Therefore, the property is recommended not eligible under Criterion A or B. The property was evaluated under Criterion C and is recommended not eligible. Although it retains some aspects of integrity, changes to historic-age materials inhibit its ability to convey significance of a particular era.

HNTB Draft HRSR September 2022

Resource 43 (HHM) [20 (HNTB)]: view of façade (northwest elevation)

HNTB Draft

Resource 43 (HHM) [20 (HNTB)]: oblique view of façade and southwest elevation

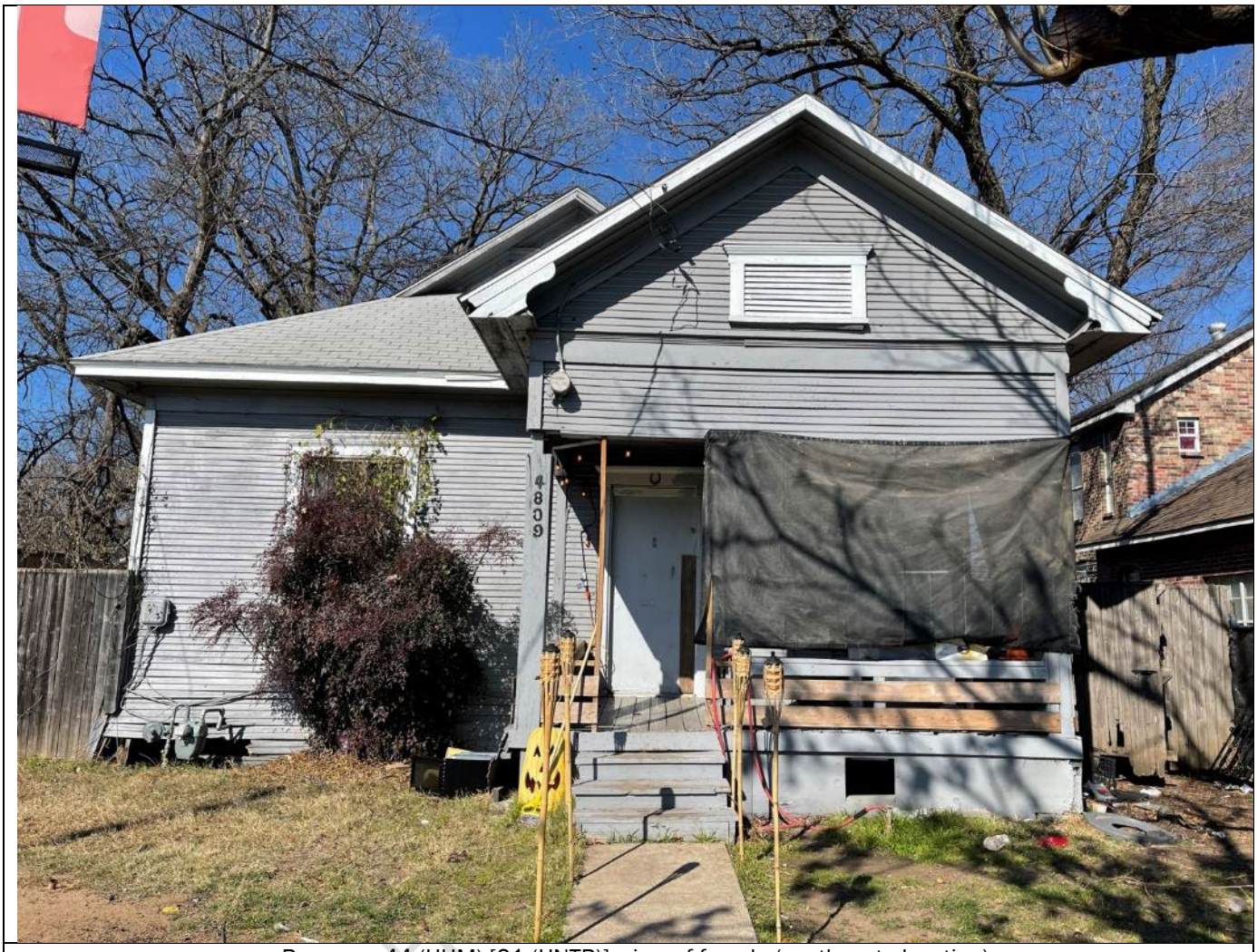
HNTB Draft

Survey Date:	12/29/2022	
Resource No:	**44 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	4809 ASH LN, 32.791133000000002/ -96.761015256	
Function/ Subfunction:	Residential	Single-family house
Form:	Modified L-plan	
Stylistic Influence(s):	National Folk	
Construction Date:	1910 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	I-30 East Corridor Project (HNTB, Sept. 2022, Resource #21) (Not eligible)	
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Mt. Auburn/ Santa Fe, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Community Planning & Development, Ethnic Heritage, Local level of significance	
Alterations/Additions:	Door replaced, Porch rail altered	
Integrity Notes:		
Effect:	No adverse effect (de minimis ROW acquisition)	

Resource No. 44	***See photos on following pages.***

Survey Date:	01/25/2022
Resource No:	44 (HHM) [21 (HNTB)]
Project Location:	Dallas
Project Name and CSJ:	I-30 East Corridor Project; 0009-11-252
Address, Lat/Long:	4809 Ash Lane; 32.791821, -96.761850
Function/Sub-function:	Residence
Construction Date:	1910
NRHP Eligibility:	See HHM 2023 survey form (contributing to Mt. Auburn/Santa Fe Historic District) (Not Eligible per HNTB)
Integrity/Comments:	See HHM survey form; Retains sufficient integrity for district threshold per Table G-2 in Appendix G (HHM). Per HNTB: Resource 44 is a one-story house standing on wood piers. The house faces southeast and is clad in historic-age clapboards. Two windows and a non-historic door fenestrate the main elevation. The two windows are obscured by metal bars. The house has a Dutch gable roof clad in non-historic asphalt shingles. The gable wall is clad in staggered shingle siding and has two vents. The main elevation is accessed from a porch on the ride side of the main elevation. The porch is covered in a projected gable roof and supported by historic-age wood posts. The projected gable wall is clad in historic-age clapboards and has one vent. The wood piers under the porch are covered by non-historic wooden fiber board. A non-historic wood railing fences the porch. The northwest side elevation has two windows obscured by metal bars. Resource 44 retains integrity in the aspects of location and setting only. The property stands in its original location within a residential setting. The replacement of the original door and changes to historic-age materials including non-historic alterations to the porch have reduced integrity in the aspects of design, materials, and workmanship. Without the ability to convey significance in the aspect of design, the building no longer evokes a sense of a residence in the early-twentieth century. Due to the design changes, Resource 44 no longer possesses adirect link to the past and does not retain integrity in the aspect of association. Research did not reveal an association between Resource 44 and any events or people that have made significant contributions to history in Dallas. Therefore, the property is recommended not eligible under Criterion A or B. The property was evaluated under Criterion C and is recommended not eligible. Although it retains some aspects of integrity, changes to historic-age materials inhibit its ability to convey significance of a particular era.

HNTB Draft HRSR September 2022



Resource 44 (HHM) [21 (HNTB)]: view of façade (southeast elevation)

HNTB Draft

Survey Date:	1/25/2022 (HNTB)	
Resource No:	**45 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	4815 ASH LN, 32.791215999999999/ -96.760891999999998257	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1910 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	I-30 East Corridor Project (HNTB, Sept. 2022, Resource #I-30 East Corridor Project (HNTB, Sept. 2022, Resource #22) (Not eligible)	
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Lacks significance, Lacks integrity	
NR District, Status:	Mt. Auburn/ Santa Fe, Noncontributing	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	Exterior wall materials replaced, Windows replaced, Fenestration pattern altered, Porch altered	2-story rear addition
Integrity Notes:		
Effect:	None	

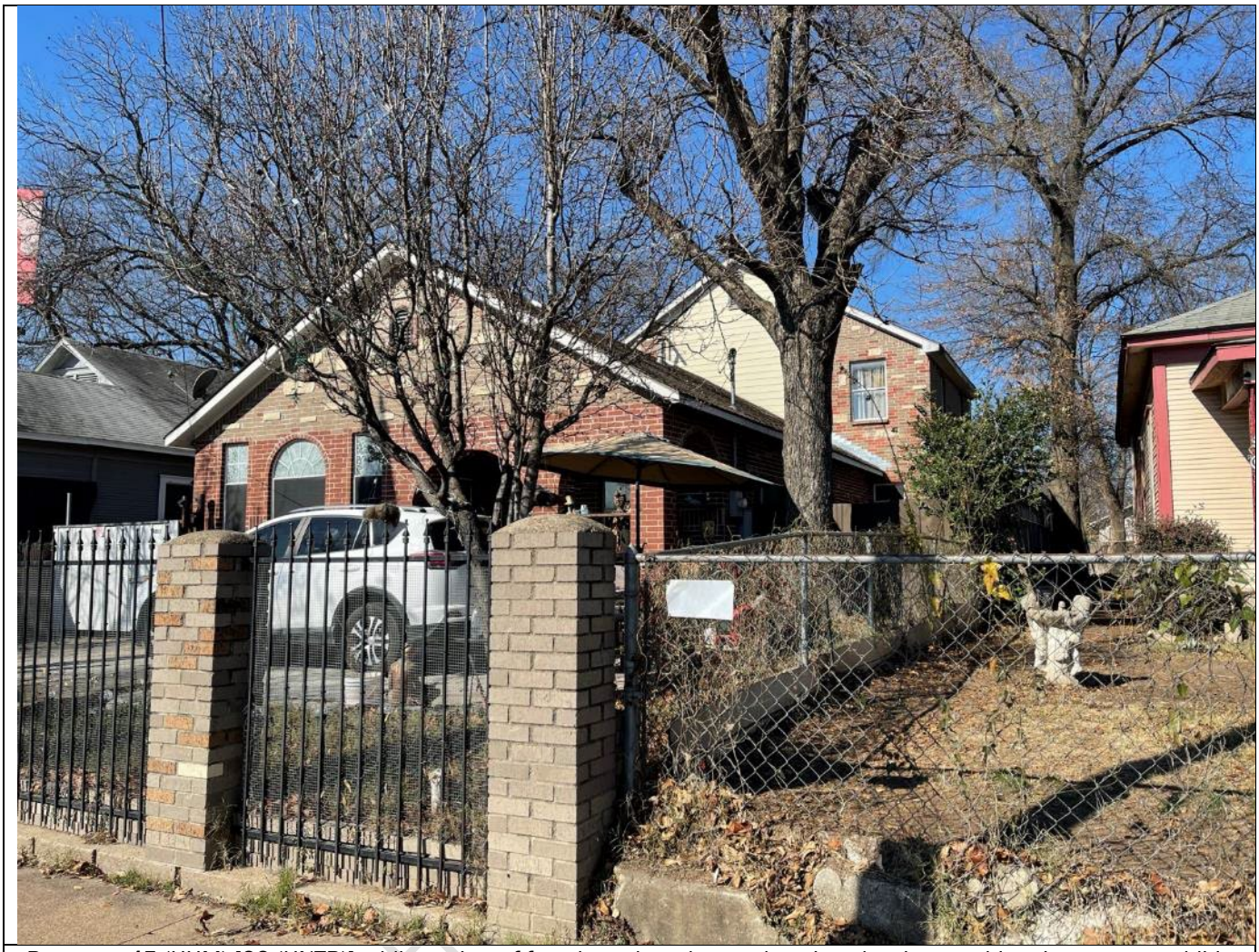
Resource No. 45	***See photos on following pages.***

Survey Date:	01/25/2022
Resource No:	45 (HHM) [22 (HNTB)]
Project Location:	Dallas
Project Name and CSJ:	I-30 East Corridor Project; 0009-11-252
Address, Lat/Long:	4815 Ash Lane; 32.792005, -96.761648
Function/Sub-function:	Residence
Construction Date:	1910
NRHP Eligibility:	See HHM 2023 survey form (noncontributing to Mt. Auburn/Santa Fe Historic District) (Not Eligible per HNTB)
Integrity/Comments:	Resource 45 is a two-story house standing on a concrete slab foundation. The house faces southeast and is clad in a brick veneer with a single solider course bond hallway up the elevation. The house has a front-facing gable roof clad in non-historic asphalt shingles. The brick veneer changes on the gable wall to a different non-historic brick veneer sporadically decorated with concrete brick of varying sizes. The gable wall is lined with decorative vertical stretchers and has a single arched vent. The main elevation is accessed from a porch that spans half the elevation and is recessed on its eastern side. The porch is set behind two brick arches. Behind the arches is a non-historic vinyl door covered by a storm door with a large, fixed light and a non-historic double-hung 6/6 vinyl window covered by a screen. The western portion of the main elevation is fenestrated by a non-historic double-hung 8/8 vinyl window topped with a fan window flanked by two non-historic double-hung 6/6 vinyl windows topped with fixed lights. A non-historic front gable two-story addition has been constructed at the rear of the house. The addition is clad in a mixture of non-historic vinyl clapboards and non-historic brick and concrete brick veneer. The main elevation of the addition has one non-historic double-hung 1/1 vinyl window The northeast side elevation has a brick arch along the porch and is fenestrated by two non-historic double-hung 6/6 vinyl windows. The southwest side elevation is fenestrated by multiple non-historic windows. Resource 45 retains integrity in the aspects of location and setting only. The property stands in its original location within a residential setting. The construction of a non-historic addition,the replacement of the historic-age door and windows, and alterations to cladding materials have reduced integrity in the aspects of design, materials, and workmanship. Without the ability to convey significance in the aspect of design, the building no longer evokes a sense of a residence in the early-twentieth century. Due to the design changes, Resource 45 no longer possesses a direct link to the past and does not retain integrity in the aspect of association. Research did not reveal an association between Resource 45 and any events or people that have made significant contributions to history in Dallas. Therefore, the property is recommended not eligible under Criterion A or B. The property was evaluated under Criterion C and is recommended not eligible. Although it retains some aspects of integrity, the construction of a non-historic addition and changes to historic-age materials inhibit its abilityto convey significance of a particular era.

HNTB Draft HRSR September 2022

Resource 45 (HHM) [22 (HNTB)]: view of façade (southeast elevation)

HNTB Draft



Resource 45 (HHM) [22 (HNTB)]: oblique view of façade and northeast elevation showing non-historic two-story addition

HNTB Draft

Survey Date:	12/29/2022	
Resource No:	**46A (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	4817 ASH LN, 32.791317999999997/ -96.760793000000007258	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	Folk Victorian	
Construction Date:	1910 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	I-30 East Corridor Project (HNTB, Sept. 2022, Resource #23) (Not eligible)	
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Mt. Auburn/ Santa Fe, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Community Planning & Development, Ethnic Heritage, Local level of significance	
Alterations/Additions:	Door replaced, Some windows replaced, Porch altered	
Integrity Notes:	Some alterations historic-age	
Effect:	None	

Resource No. 46A	***See photos on following pages.***

Survey Date:	01/25/2022
Resource No:	46A (HHM) [23 (HNTB)]
Project Location:	Dallas
Project Name and CSJ:	I-30 East Corridor Project; 0009-11-252
Address, Lat/Long:	4817 Ash Lane, 32.792005, -96.761648
Function/Sub-function:	Residence
Construction Date:	1910
NRHP Eligibility:	See HHM 2023 survey form (contributing to Mt. Auburn/Santa Fe Historic District) (Not Eligible per HNTB)
Integrity/Comments:	Retains sufficient integrity for district threshold per Table G-2 in Appendix G (HHM). Per HNTB: Resource 46 is a one-story Folk Victorian cottage standing on a concrete slab. The house faces southeast and is clad in wood clapboards. The house has a hipped roof clad in non-historic asphalt shingles. The east side of the main elevation has two conjoined front-facing gable projections, one that is flush with the hipped roof and one that projects over the porch. The gable wall of the projected roof is clad in staggered shingle siding. The main elevation is fenestrated by two non-historic 1/1 vinyl double-sash windows and a non-historic vinyl door covered by a non-historic metal windowed storm door. The main elevation is accessed from a concrete porch that spans its length. The projected front-facing gable roof and a projected hipped roof cover the porch and are supported by metal posts with decorative scrolling and brackets. Under the front-facing gable projection is a lower wall decorated with applied half-timbering. The side elevations are fenestrated with some non-historic 1/1 vinyl double-sash windows and some original wood windows. Resource 46 retains integrity in the aspects of location and setting only. The property stands in its original location within a residential setting. Changes to historic-age materials andthe fenestration have reduced integrity in the aspects of design, materials, and workmanship. Without the ability to convey significance in the aspect of design, the building no longer evokes a sense of a residence in the early-twentieth century. Due to the design changes, Resource 46 no longer possesses a direct link to the past and does not retain integrity in the aspect of association. Research did not reveal an association between Resource 46 and any events or people that have made significant contributions to history in Dallas. Therefore, the property is recommended not eligible under Criterion A or B. The property was evaluated under Criterion C and is recommended not eligible. Although it retains some aspects of integrity and is recognizable as a Folk Victorian cottage, changes to historic-age materials inhibit its ability to convey significance of a particular era.

HNTB Draft HRSR September 2022

Resource 46 (HHM) [23 (HNTB)]: view of façade (southeast elevation)

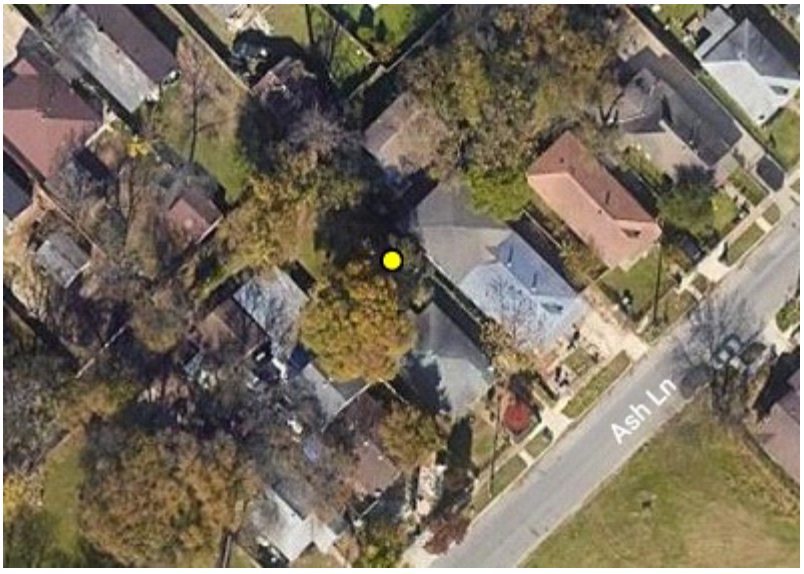
HNTB Draft

46 (HHM) [23 (HNTB)]: oblique view of façade and southwest elevation

HNTB Draft

Survey Date:	1/13/2023	
Resource No:	**46B (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	4817 ASH LN, 32.791443000000001/ -96.760861000000006115	
Function/ Subfunction:	Residential	Garage
Form:	Rectangular	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1910 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Mt. Auburn/ Santa Fe, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Community Planning & Development, Ethnic Heritage, Local level of significance; Based on context given limited visibility	
Alterations/Additions:		
Integrity Notes:	Limited visibility	
Effect:	None	

Resource No. 46B (4817 Ash B.jpg)



Survey Date:	12/29/2022	
Resource No:	**47A (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	0 ASH LN, 32.791424999999997/ -96.760686000000007259	
Function/ Subfunction:	Residential	Duplex house
Form:	Square plan hipped-roof	
Stylistic Influence(s):	National Folk	
Construction Date:	1910 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	I-30 East Corridor Project (HNTB, Sept. 2022, Resource #24) (Not eligible)	
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Mt. Auburn/ Santa Fe, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Community Planning & Development, Ethnic Heritage, Local level of significance	
Alterations/Additions:	Doors replaced, Windows replaced, Porch altered	Side addition, 2-story rear addition
Integrity Notes:	Some alterations historic-age	
Effect:	None	

Resource No. 47A	*See photos on following pages.*

Survey Date:	01/25/2022
Resource No:	47A (HHM) [24 (HNTB)]
Project Location:	Dallas
Project Name and CSJ:	I-30 East Corridor Project; 0009-11-252
Address, Lat/Long:	4823 Ash Lane; 32.792097, -96.761515
Function/Sub-function:	Residence
Construction Date:	1910
NRHP Eligibility:	See HHM 2023 survey form (contributing to Mt. Auburn/Santa Fe Historic District) (Not Eligible per HNTB)
Integrity/Comments:	Retains sufficient integrity for district threshold per Table G-2 in Appendix G (HHM). Per HNTB: Resource 47A is a two-story house standing on a concrete slab foundation. The house faces southeast and is clad in non-historic vinyl clapboards. The historic-age footprint of the house is one-story and has a hipped roof that was being re-clad at the time of this survey. At the center of the roof is a hipped roof dormer with a single fixed window and clad in non-historic vinyl clapboards. A non-historic two-story addition was constructed on the northwest side of the house and has a hipped roof clad in asphalt shingles. The main elevation is fenestrated with two non-historic 6/6 vinyl double-sash windows and two non-historic vinyl doors. The door on the west side of the elevation has a fan light. The main elevation is accessed from aconcrete porch. A projected shed roof stands over the porch supported by four non-historic metal posts. The west side of the main elevation is elongated from a projected shed roof built into the southwest elevation. The southwest elevation has a projected shed roof under the main hipped roof.The side elevation is fenestrated in multiple non-historic 1/1 vinyl double-sash windows. The northeast elevation features a window bay with three non-historic 6/6 vinyldouble-sash windows. The side elevation is fenestrated by the window bay, an additional 6/6 vinyl double-sash window, a non-historic vinyl door which accesses the two-story addition, and multiple non-historic 1/1 vinyl double-sash windows. Resource 47A retains integrity in the aspects of location and setting only. The property stands in its original location within a residential setting. The construction of a non-historic addition,the replacement of the historic-age door and windows, and alterations to cladding materials have reduced integrity in the aspects of design, materials, and workmanship. Without the ability to convey significance in the aspect of design, the building no longer evokes a sense of a residence in the early-twentieth century. Due to the design changes, Resource 47A no longer possesses a direct link to the past and does not retain integrity in the aspect of association. Research did not reveal an association between Resource 47A and any events or people thathave made significant contributions to history in Dallas. Therefore, the property is recommended not eligible under Criterion A or B. The property was evaluated under Criterion C and is recommended not eligible. Although it retains some aspects of integrity, the construction of a non-historic addition and changes to historic-age materials inhibit its abilityto convey significance of a particular era.

HNTB Draft HRSR September 2022

Resource 47A (HHM) [24 (HNTB)]: view of façade (southeast elevation)

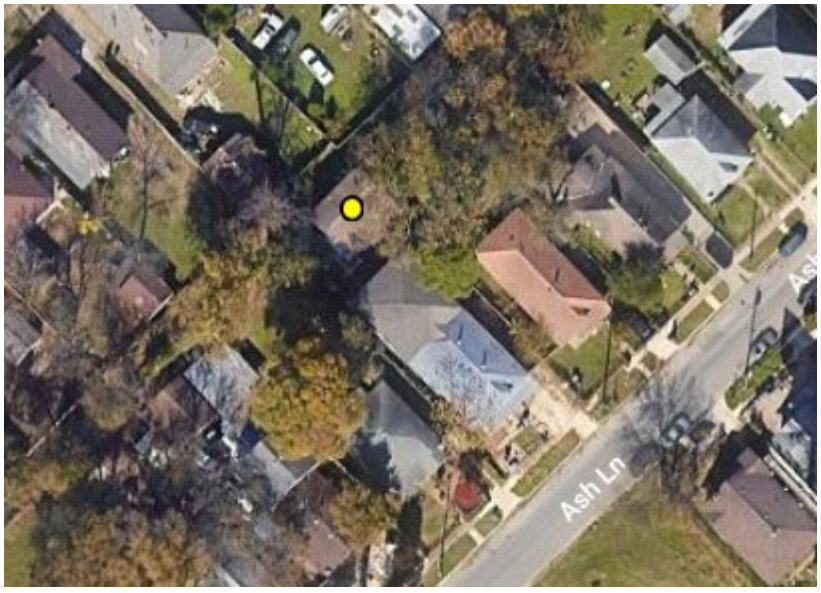
HNTB Draft

Resource 47A (HHM) [24 (HNTB)]: oblique view of façade and southwest elevation showing non-historic two-story addition

HNTB Draft

Survey Date:	1/13/2023	
Resource No:	**47B (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	0 ASH LN, 32.791604/ -96.760846999999998113	
Function/ Subfunction:	Residential	Garage
Form:	Rectangular	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1910 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Mt. Auburn/ Santa Fe, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Community Planning & Development, Ethnic Heritage, Local level of significance; Assumed based on context given limited visibility	
Alterations/Additions:		
Integrity Notes:	Limited visibility	
Effect:	None	

Resource No. 47B (4821-23 Ash B.jpg)



Survey Date:	12/30/2022	
Resource No:	**48 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	4825 ASH LN, 32.791511999999997/ -96.760551000000007227	
Function/ Subfunction:	Residential	Duplex house
Form:	Square plan hipped-roof	
Stylistic Influence(s):	National Folk	
Construction Date:	1910 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Mt. Auburn/ Santa Fe, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Community Planning & Development, Ethnic Heritage, Local level of significance	
Alterations/Additions:	All windows replaced, Doors replaced	
Integrity Notes:		
Effect:	None	

Resource No. 48 (6C8C8EF1-5F71-48CE-A35A-88867F10F497.jpeg)

Resource No. 48 (AE894DA3-C618-4DAE-9365-146097FCE2E9.jpeg)	

Survey Date:	12/29/2022	
Resource No:	**49 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	4826 ASH LN, 32.791231000000003/ -96.760249000000002260	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	Craftsman	
Construction Date:	1923 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	I-30 East Corridor Project (HNTB, Sept. 2022, Resource #73) (Not eligible)	
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Mt. Auburn/ Santa Fe, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Community Planning & Development, Ethnic Heritage, Local level of significance	
Alterations/Additions:	Door replaced, One window replaced	
Integrity Notes:		
Effect:	None	

Resource No. 49	***See photos on following pages.***

Survey Date:	01/26/2022
Resource No:	49 (HHM) [73 (HNTB)]
Project Location:	Dallas
Project Name and CSJ:	I-30 East Corridor Project; 0009-11-252
Address, Lat/Long:	4826 Ash Lane; 32.791180, -96.760255
Function/Sub-function:	Residence
Construction Date:	1923
NRHP Eligibility:	See HHM 2023 survey form (contributing to Mt. Auburn/Santa Fe Historic District) (Not Eligible per HNTB)
Integrity/Comments:	Retains sufficient integrity for district threshold per Table G-2 in Appendix G (HHM). Per HNTB: Resource 49 is a one-story residence standing on a concrete slab foundation. The residence has a front-facing gable roof clad in non-historic asphalt shingles. The main elevation faces northwest and is clad in historic-age running bond brick veneer with a solider course along the foundation slab at the gable wall. The gable wall on the main elevation is clad in historic-age scale shingles. Two 1/1 double-sash windows, a non-historic fixed window, and a non-historic door fenestrate the main elevation. Two brick piers support a projected side-facing gable roof over a porch that spans half the length of the main elevation. The side gable roof has exposed rafters. A brick wall lines the porch and stop before a set of concrete steps. An external brick chimney stands at the west side of the main elevation and extends through the front-facing gable roof. Non-historic fixed windows are on the side elevation. A non-historic billboard has been constructed directly northeast of the residence on the property. Resource 49 retains integrity in the aspects of location only. The property stands in its original location. The construction of a non-historic billboard on the property reduces integrity in the aspect of setting. Changes to historic-age materials such as replacement windows have reduced integrity in the aspects of design, materials, and workmanship. Without the ability to convey significance in the aspect of design, the building no longer evokes a sense of a residence in the early-twentieth century. Due to the design changes, Resource 49 no longer possesses adirect link to the past and does not retain integrity in the aspect of association. Research did not reveal an association between Resource 49 and any events or people thathave made significant contributions to history in Dallas. Therefore, the property is recommended not eligible under Criterion A or B. The property was evaluated under Criterion C and is recommended not eligible. Although it retains some aspects of integrity, non-historic features on the property and changes to historic-age materials inhibit its ability to convey significance of a particular era.

HNTB Draft HRSR - October 2022

Resource 49 (HHM) [73 (HNTB)]: view of façade (northwest elevation) showing non-historic billboard

HNTB Draft

Resource 49 (HHM) [73 (HNTB)]: oblique view of façade and northeast elevations

HNTB Draft

Survey Date:	12/30/2022	
Resource No:	**50 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	4829 ASH LN, 32.791578999999999/ -96.760420999999994228	
Function/ Subfunction:	Residential	Single-family house
Form:	Rectangular	
Stylistic Influence(s):	National Folk	
Construction Date:	1910 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Mt. Auburn/ Santa Fe, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Community Planning & Development, Ethnic Heritage, Local level of significance	
Alterations/Additions:	Doors replaced, Window added	
Integrity Notes:		
Effect:	None	

Resource No. 50 (E4354A78-ED3C-40DA-996C-C7F9C61538B7.jpeg)

Resource No. 50 (C5B23AB2-7919-4905-8217-A89EC4834FFE.jpeg)	

Survey Date:	12/29/2022	
Resource No:	**51 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	4830 ASH LN, 32.791310000000003/ -96.760116999999994261	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	Craftsman	
Construction Date:	1923 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	I-30 East Corridor Project (HNTB, Sept. 2022, Resource #72) (Not eligible)	
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Mt. Auburn/ Santa Fe, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Community Planning & Development, Ethnic Heritage, Local level of significance	
Alterations/Additions:	Windows replaced, Porch floor replaced, Porch rail added	
Integrity Notes:		
Effect:	None	

Resource No. 51	***See photos on following pages.***

Survey Date:	01/26/2022
Resource No:	51 (HHM) [72 (HNTB)]
Project Location:	Dallas
Project Name and CSJ:	I-30 East Corridor Project; 0009-11-252
Address, Lat/Long:	4830 Ash Lane; 32.791307, -96.760137
Function/Sub-function:	Residence
Construction Date:	1923
NRHP Eligibility:	See HHM 2023 survey form (contributing to Mt. Auburn/Santa Fe Historic District) (Not
Integrity/Comments:	Retains sufficient integrity for district threshold per Table G-2 in Appendix G (HHM). Per HNTB: Resource 51 is a one-story Craftsman style house standing on a concrete slab. The residence has multiple intersecting gable roofs clad in non-historic asphalt shingles. The main elevation faces northwest and is clad in wood clapboards. Non-historic vinyl double-sash windows and gable vents fenestrate the main elevation. Decorative brackets are placed under the two front-facing gables along the main elevation. The house is accessed by a non-historic door set to the side of a porch clad in non-historic ceramic tiles. Craftsman style tapered piers on brick footings mark the porch and support the lower gable roof. A non-historic wood rail is located on the northeast of the porch. The northeast elevation has multiple non-historic vinyl double-hung sash windows. During the non-historic period, a detached structure was constructed directly southeast of the residence. The secondary structure has a gambrel roof with multiple dormers clad in the asphalt shingles. The structure has a porch that is topped with a shed roof. Also, during the non-historic period, the entire lawn around the residence was covered with poured concrete that extends to the sidewalk along Ash Lane. Resource 51 retains integrity in the aspects of location and setting only. The property stands in its original location within a residential setting. Changes to historic-age openings such as the historic-age door and windows in addition to the non-historic addition to the front lawn have reduced integrity in the aspects of design, materials, and workmanship. Without the ability to convey significance in the aspect of design, the building no longer evokes a sense of a residence in the early-twentieth century. Due to the design changes,Resource 51 no longer possesses a direct link to the past and does not retain integrity inthe aspect of association. Research did not reveal an association between Resource 51 and any events or people thathave made significant contributions to history in Dallas. Therefore, the property is recommended not eligible under Criterion A or B. The property was evaluated under Criterion C and is recommended not eligible. Although it retains some aspects of integrity and is recognizable as a Craftsman style house, changes to historic-age materials inhibit its ability to convey significance of a particular era.

HNTB Draft HRSR Submittal September 2022

Resource 51 (HHM) [72 (HNTB)]: view of façade (northwest elevation)

HNTB Draft

Resource 51 (HHM) [72 (HNTB)]: oblique view of façade and northeast elevation showing secondary structure

HNTB Draft

Survey Date:	12/30/2022	
Resource No:	**52A (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	4833 ASH LN, 32.791663/ -96.760323229	
Function/ Subfunction:	Residential	Single-family house
Form:	Square plan hipped-roof	
Stylistic Influence(s):	National Folk	
Construction Date:	1910 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Mt. Auburn/ Santa Fe, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Community Planning & Development, Ethnic Heritage, Local level of significance	
Alterations/Additions:	Screens replaced	
Integrity Notes:		
Effect:	None	

Resource No. 52A (E7DAA187-9A3A-49E4-AFA2-1E7FDAFBFF73.jpeg)

Resource No. 52A (A9BE0FC1-F29B-4121-B7E3-35A297894CC0.jpeg)	

Survey Date:	1/13/2023	
Resource No:	**52B (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	4833 ASH LN, 32.791786999999999/ -96.760373999999999110	
Function/ Subfunction:	Residential	Garage
Form:	Rectangular	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1920 (In field estimate)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Mt. Auburn/ Santa Fe, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Community Planning & Development, Ethnic Heritage, Local level of significance	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

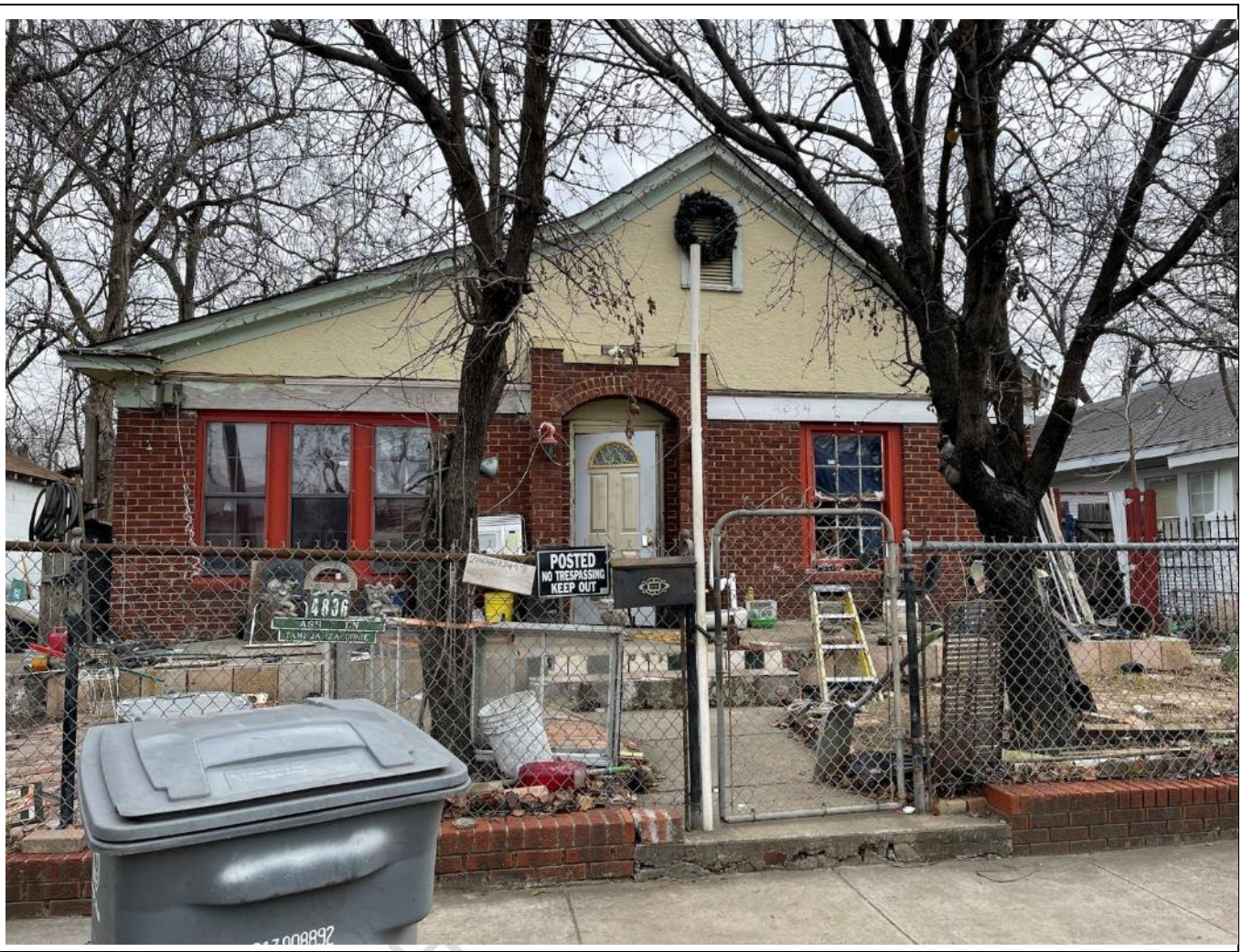
Resource No. 52B (A9BE0FC1-F29B-4121-B7E3-35A297894CC0.jpeg)

Survey Date:	1/26/2022 (HNTB)	
Resource No:	**53A (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	4834 ASH LN, 32.791407999999997/ -96.760019262	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1923 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	I-30 East Corridor Project (HNTB, Sept. 2022, Resource #71) (Not eligible)	
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Lacks integrity	
NR District, Status:	Mt. Auburn/ Santa Fe, Noncontributing	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	Exterior wall materials replaced, Door replaced, Porch enclosed	Side addition
Integrity Notes:		
Effect:	None	

Resource No. 53A	***See photos on following pages.***

Survey Date:	01/26/2022
Resource No:	53A (HHM) [71 (HNTB)]
Project Location:	Dallas
Project Name and CSJ:	I-30 East Corridor Project; 0009-11-252
Address, Lat/Long:	4834 Ash Lane; 32.791392, -96.760033
Function/Sub-function:	Residence
Construction Date:	1923
NRHP Eligibility:	See HHM 2023 survey form (noncontributing to Mt. Auburn/Santa Fe Historic District) (Not Eligible per HNTB)
Integrity/Comments:	Resource 53A is a one-story residence standing on a concrete slab. The residence has a front-facing gable roof with a steep pitch on the building's west side that tapers into the lower pitch on the east side. The roof is clad in non-historic asphalt shingles. The gable wall is clad in non-historic stucco and the rest of the building is clad in a combination of historic-age running bond brick veneer and non-historic vinyl clapboards. Non-historic 2/2 and 3/3 vinyl double-sash windows and a non-historic vinyl door with an integrated fanlight fenestrate the main elevation. A gable-vent is present along the main elevation gable wall. The front door is set back inside a segmental brick arch at the center of the main elevation. The door is accessed from a non-historic concrete porch that spans the entirety of the main elevation. A non-historic brick walkway has been constructed in front of the house. A non-original addition stands in the rear of the building and has a hipped roof. Non-historic vinyl double-hung sash windows are located along the side elevation. Resource 53A retains integrity in the aspects of location and setting only. The property stands in its original location within a residential setting. Non-historic additions including the concrete porch in addition to the replacement of the historic-age door and windows and changes to the cladding and other historic-age materials have reduced integrity in theaspects of design, materials, and workmanship. Without the ability to convey significance in the aspect of design, the building no longer evokes a sense of a residence in the early- twentieth century. Due to the design changes, Resource 53A no longer possesses a direct link to the past and does not retain integrity in the aspect of association. Research did not reveal an association between Resource 53A and any events or people thathave made significant contributions to history in Dallas. Therefore, the property is recommended not eligible under Criterion A or B. The property was evaluated under Criterion C and is recommended not eligible. Although it retains some aspects of integrity, changes to historic-age materials inhibit its ability to convey significance of a particular era.

HNTB Draft HRSR September 2022



Resource 53A (HHM) [71 (HNTB)]: view of façade (northwest elevation)

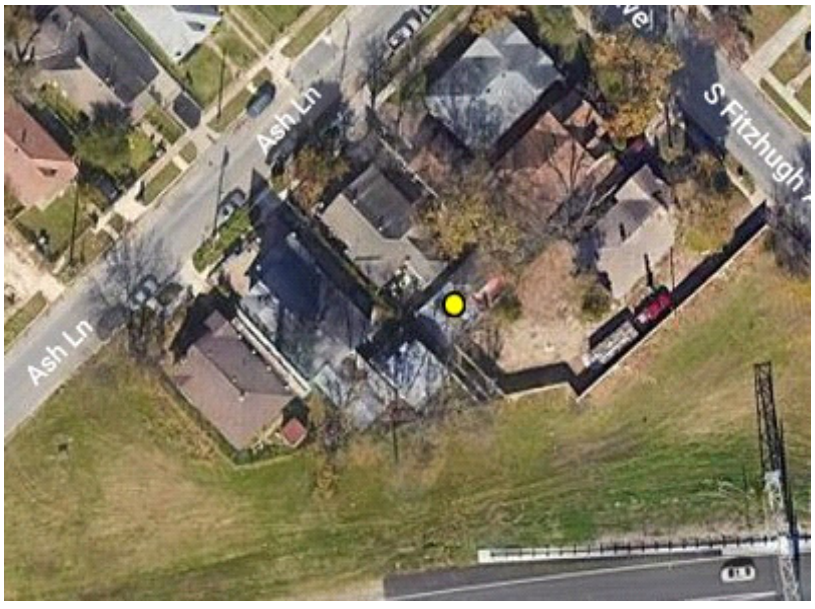
HNTB Draft

Resource 53A (HHM) [71 (HNTB)]: oblique view of façade and northeast elevation

HNTB Draft

Survey Date:	1/13/2023	
Resource No:	**53B (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	4834 ASH LN, 32.791311999999998/ -96.759896999999995105	
Function/ Subfunction:	Residential	Garage
Form:	Rectangular	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1923 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Lacks integrity	
NR District, Status:	Mt. Auburn/ Santa Fe, Noncontributing	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	Associated house lacks integrity	
Integrity Notes:	Limited visibility	
Effect:	None	

Resource No. 53B (4834 Ash B.jpg)



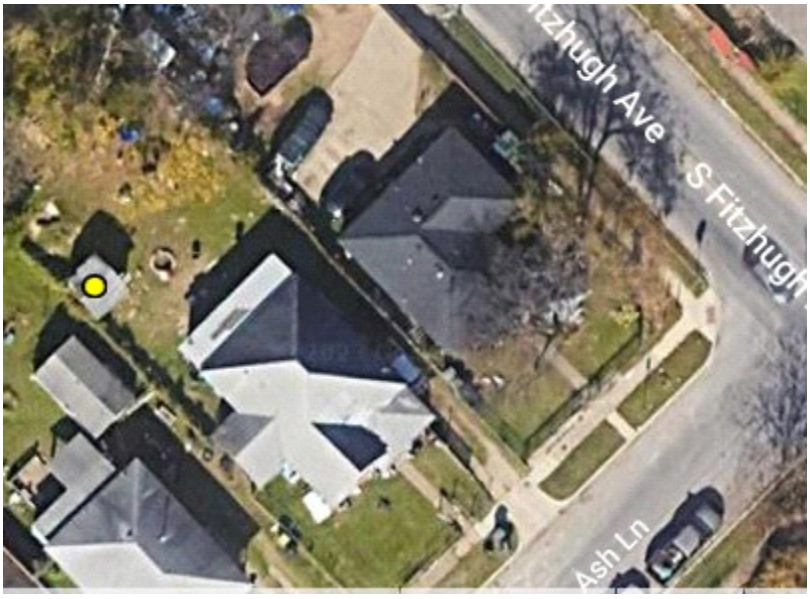
Survey Date:	12/30/2022	
Resource No:	**54A (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	4837 ASH LN, 32.791792000000001/ -96.760204000000002230	
Function/ Subfunction:	Residential	Single-family house
Form:	Modified L-plan	
Stylistic Influence(s):	National Folk	
Construction Date:	1910 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Mt. Auburn/ Santa Fe, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Community Planning & Development, Ethnic Heritage, Local level of significance	
Alterations/Additions:	Doors replaced	
Integrity Notes:		
Effect:	None	

Resource No. 54A (A4652128-ED23-47F0-8F00-60CE24B97B77.jpeg)

Resource No. 54A (DC450588-10ED-4CCC-AA16-5F9A2268ECB7.jpeg)	

Survey Date:	1/13/2023	
Resource No:	**54B (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	4837 ASH LN, 32.791853000000003/ -96.760361000000003107	
Function/ Subfunction:	Residential	Garage
Form:	Rectangular	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1910 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Mt. Auburn/ Santa Fe, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Community Planning & Development, Ethnic Heritage, Local level of significance; Based on context given limited visibility	
Alterations/Additions:		
Integrity Notes:	Limited visibility	
Effect:	None	

Resource No. 54B (4837 Ash B.jpg)



Survey Date:	1/13/2023	
Resource No:	**55A (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	603 S FITZHUGH AVE, 32.791589999999999/ -96.75983700000000599	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	Craftsman	
Construction Date:	1924 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Mt. Auburn/ Santa Fe, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Community Planning & Development, Ethnic Heritage, Local level of significance	
Alterations/Additions:	All windows replaced, Doors replaced	
Integrity Notes:		
Effect:	None	

Resource No. 55A (5AAF9DB5-373E-4579-BD57-F1E42009DAE8.jpeg)

Resource No. 55A (16F48A08-2EEF-4321-8FE5-8A11DE531953.jpeg)	
Resource No. 55A (821D6A43-7FA7-47C7-9207-645E091524B4.jpeg)	

Survey Date:	1/13/2023	
Resource No:	**55B (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	603 S FITZHUGH AVE, 32.791486999999996/ -96.75991899999999698	
Function/ Subfunction:	Residential	Garage
Form:	Rectangular	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1924 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Mt. Auburn/ Santa Fe, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Community Planning & Development, Ethnic Heritage, Local level of significance	
Alterations/Additions:	Doors replaced	
Integrity Notes:		
Effect:	None	

Resource No. 55B (F76E5D57-A1B2-4E1C-A928-96BFB4A340C8.jpeg)

Resource No. 55B (96D229AA-8AA0-4BF1-BAD0-38EA27FE9F90.jpeg)	

Survey Date:	1/13/2023	
Resource No:	**56 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	607 S FITZHUGH AVE, 32.791504000000003/ -96.759738999999996100	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	Tudor Revival	
Construction Date:	1923 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Mt. Auburn/ Santa Fe, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Community Planning & Development, Ethnic Heritage, Local level of significance	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 56 (76BDF95F-D7FC-4D6A-A0BC-D7EF385DF179.jpeg)

Resource No. 56 (3DBB9AB5-A4EF-4498-AB64-666D6E3C3311.jpeg)	

Survey Date:	12/29/2022	
Resource No:	**57 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	611 S FITZHUGH AVE, 32.791409000000002/ -96.759619000000001263	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	Craftsman	
Construction Date:	1923 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	I-30 East Corridor Project (HNTB, Sept. 2022, Resource #70) (Not eligible)	
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Mt. Auburn/ Santa Fe, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Community Planning & Development, Ethnic Heritage, Local level of significance	
Alterations/Additions:	Windows replaced	
Integrity Notes:		
Effect:	None	

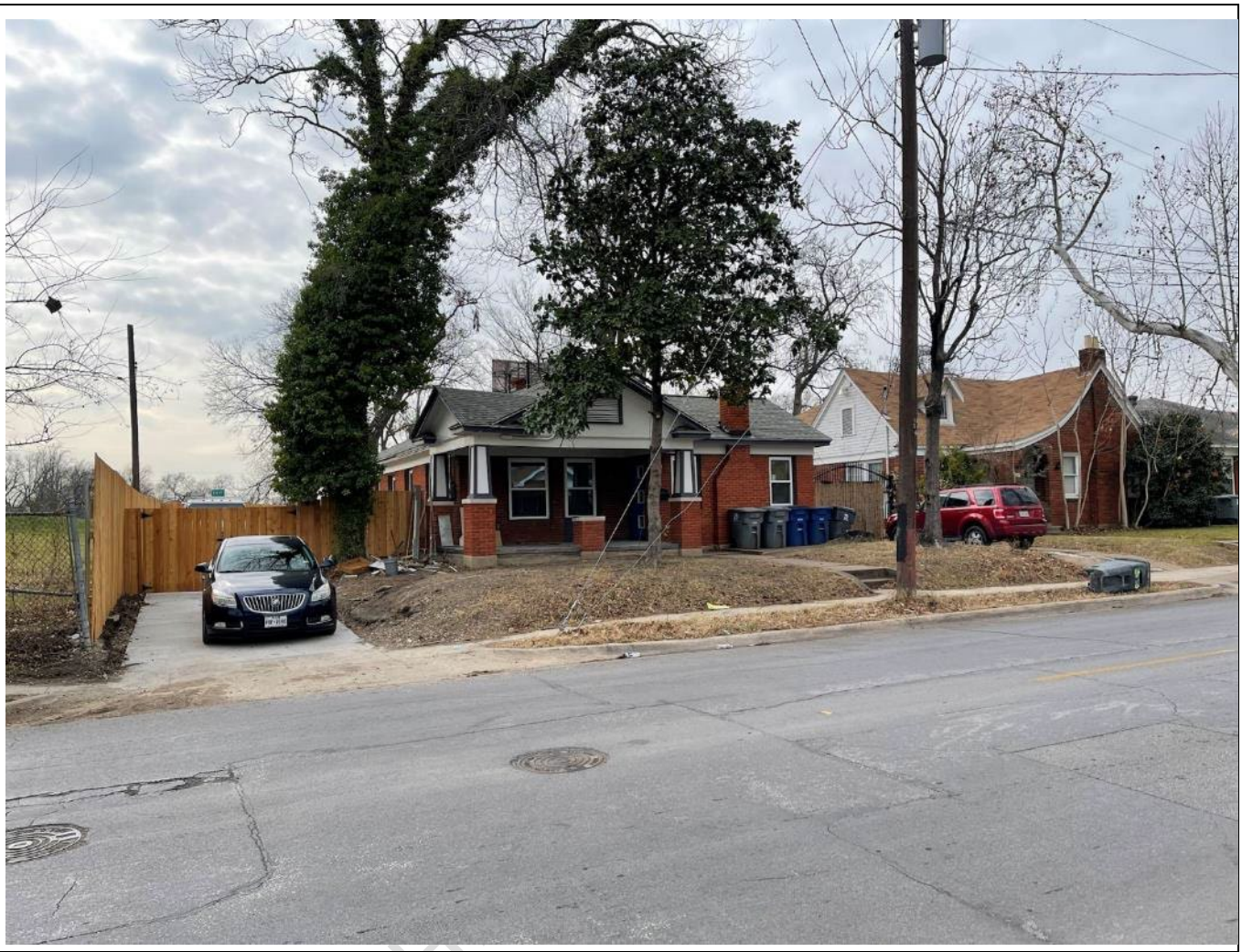
Resource No. 57	***See photos on following pages.***

Survey Date:	01/26/2022
Resource No:	57 (HHM) [70 (HNTB)]
Project Location:	Dallas
Project Name and CSJ:	I-30 East Corridor Project; 0009-11-252
Address, Lat/Long:	611 South Fitzhugh Avenue; 32.791335, -96.759627
Function/Sub-function:	Residence
Construction Date:	1923
NRHP Eligibility:	See HHM 2023 survey form contributing to Mt. Auburn/Santa Fe Historic District) (Not Eligible per HNTB)
Integrity/Comments:	Retains sufficient integrity for district threshold per Table G-2 in Appendix G (HHM). Per HNTB: Resource 57 is a one-story Craftsman style house standing on a concrete slab. The house has multiple intersecting gable roofs clad in non-historic asphalt shingles. The entirety of the house is clad in a non-historic running bond brick veneer. The main elevation faces northeast and is accessed by a non-historic door on the side of a recessed porch under a front-facing gable. Historic-age Craftsman-style tapered piers on brick footings support the roof over the porch. Non-historic 1/1 vinyl double-sash windows fenestrate the main elevation. A historic-age exterior brick chimney topped with chimney pots stands on the main elevation. A gable vent is located on the front-facing gable wall. The same non-historic windows are found on the side elevations. During the time of this survey, a non-historic fence obscured the west sides of the side elevations and the rear of the house. Resource 57 retains integrity in the aspects of location and setting only. The property standsin its original location within a residential setting. Changes to historic-age materials and the fenestration have reduced integrity in the aspects of design, materials, and workmanship. Without the ability to convey significance in the aspect of design, the building no longer evokes a sense of a residence in the early-twentieth century. Due to the design changes,Resource 57 no longer possesses a direct link to the past and does not retain integrity in the aspect of association. Research did not reveal an association between Resource 57 and any events or people thathave made significant contributions to history in Dallas. Therefore, the property is recommended not eligible under Criterion A or B. The property was evaluated under Criterion C and is recommended not eligible. Although it retains some aspects of integrity and is recognizable as a Craftsman style house, changes to historic-age materials inhibit its ability to convey significance of a particular era.

HNTB Draft HHSR September 2022

Resource 57 (HHM) [70 (HNTB)]: view of façade (northeast elevation)

HNTB Draft



Resource 57 (HHM) [70 (HNTB)]: olbique view of façade and southeast elevation

HNTB Draft

Survey Date:	12/30/2022	
Resource No:	**58 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	600 S FITZHUGH AVE, 32.791876999999999/ -96.759478000000001231	
Function/ Subfunction:	Residential	Single-family house
Form:	Modified L-plan	
Stylistic Influence(s):	National Folk	
Construction Date:	1902 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Mt. Auburn/ Santa Fe, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Community Planning & Development, Ethnic Heritage, Local level of significance	
Alterations/Additions:	All windows replaced, Fenestration pattern altered	
Integrity Notes:		
Effect:	None	

Resource No. 58 (5D7507B2-640E-4751-A8E7-60B0E602D399.jpeg)

Resource No. 58 (1FEDE714-26EB-4B3A-9357-52FC6DD824ED.jpeg)	

Survey Date:	12/30/2022	
Resource No:	**59 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	604 S FITZHUGH AVE, 32.791777000000003/ -96.759321232	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	Craftsman	
Construction Date:	1925 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Mt. Auburn/ Santa Fe, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Community Planning & Development, Ethnic Heritage, Local level of significance	
Alterations/Additions:	Screens replaced, Porch screened	
Integrity Notes:	Alterations within period of significance	
Effect:	None	

Resource No. 59 (7EEAD54D-A97F-49CB-8C23-3F80DA5E70FB.jpeg)

Resource No. 59 (5702F3C0-FF23-4DD7-B9D0-1E64E1A776D1.jpeg)	

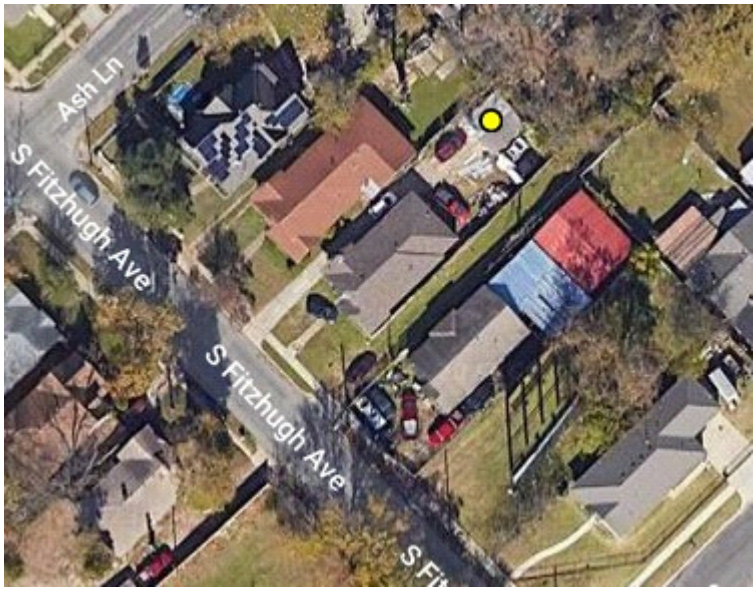
Survey Date:	12/30/2022	
Resource No:	**60A (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	608 S FITZHUGH AVE, 32.791677/ -96.759253999999999233	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	Craftsman	
Construction Date:	1925 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Mt. Auburn/ Santa Fe, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Community Planning & Development, Ethnic Heritage, Local level of significance	
Alterations/Additions:	All windows replaced, Porch enclosed	
Integrity Notes:	Alterations partially within period of significance	
Effect:	None	

Resource No. 60A (32950F0E-A639-47F4-A735-D98017F84A50.jpeg)

Resource No. 60A (0959278B-5941-4BDE-890E-9A0D9E717194.jpeg)	

Survey Date:	1/13/2023	
Resource No:	**60B (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	608 S FITZHUGH AVE, 32.791856000000003/ -96.75910000000000494	
Function/ Subfunction:	Residential	Garage
Form:	Rectangular	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1925 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Mt. Auburn/ Santa Fe, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Community Planning & Development, Ethnic Heritage, Local level of significance	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 60B (608 Fitzhugh B.jpg)



Survey Date:	12/30/2022	
Resource No:	**61 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	614 S FITZHUGH AVE, 32.791581999999998/ -96.759139000000005235	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1923 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks integrity	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	All windows replaced, Exterior wall materials replaced, Porch altered	Rear addition
Integrity Notes:		
Effect:	None	

Resource No. 61 (809BB366-E281-407F-B15B-0B1E5C01FE92.jpeg)

Resource No. 61 (1E4B932D-B758-4ADA-B338-4AF9072C7C9B.jpeg)	

Survey Date:	12/30/2022	
Resource No:	**62 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	4914 ASH LN, 32.792096000000001/ -96.759198999999995234	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1910 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Mt. Auburn/ Santa Fe, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Community Planning & Development, Ethnic Heritage, Local level of significance	
Alterations/Additions:	Some windows replaced, Porch altered	
Integrity Notes:	Alterations within period of significance	
Effect:	None	

Resource No. 62 (FB5319F6-43C0-4D8B-8D93-4863E24B14EA.jpeg)

Resource No. 62 (E99BFD23-0954-499F-AA35-E44C1DB95B8B.jpeg)	

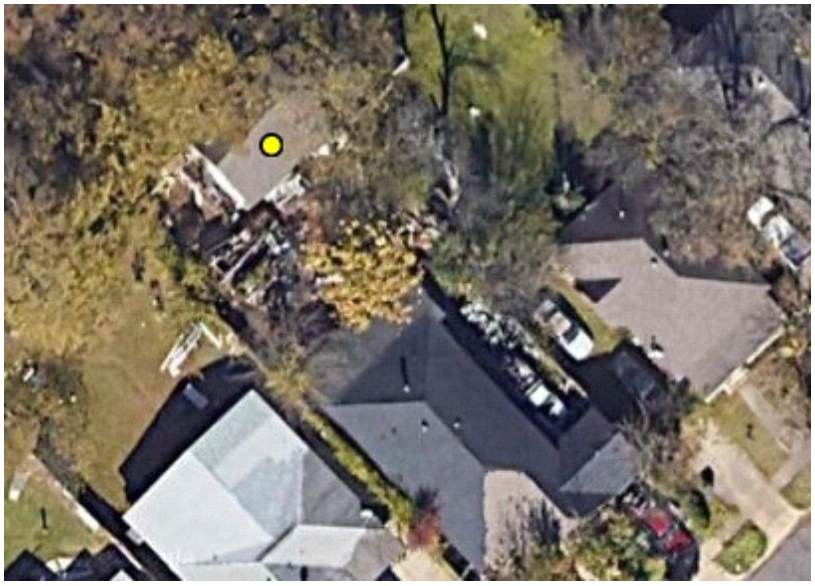
Survey Date:	12/30/2022	
Resource No:	**63A (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	4921 GARLAND AVE, 32.791845000000002/ -96.758469000000005236	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	Craftsman	
Construction Date:	1917 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Mt. Auburn/ Santa Fe, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Community Planning & Development, Ethnic Heritage, Local level of significance	
Alterations/Additions:	All windows replaced, Porch materials replaced	
Integrity Notes:	Alterations partially within period of significance	
Effect:	None	

Resource No. 63A (B4841FBD-AA9A-4ACA-95D3-0F1C2234D87E.jpeg)

Resource No. 63A (8814F139-6B21-4032-8587-94F8F7509848.jpeg)	

Survey Date:	1/13/2023	
Resource No:	**63B (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	4921 GARLAND AVE, 32.792034999999998/ -96.75861100000000291	
Function/ Subfunction:	Residential	Garage
Form:	Rectangular	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1917 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Mt. Auburn/ Santa Fe, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Community Planning & Development, Ethnic Heritage, Local level of significance; Based on context given limited visibility	
Alterations/Additions:		
Integrity Notes:	Visibility limited	
Effect:	None	

Resource No. 63B (4921 Garland B.jpg)



Survey Date:	12/30/2022	
Resource No:	**64A (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	4925 GARLAND AVE, 32.791956999999996/ -96.758313000000001237	
Function/ Subfunction:	Residential	Single-family house
Form:	Square plan hipped-roof	
Stylistic Influence(s):	National Folk	
Construction Date:	1907 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Mt. Auburn/ Santa Fe, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Community Planning & Development, Ethnic Heritage, Local level of significance	
Alterations/Additions:	Porch screened, Some doors replaced	
Integrity Notes:	Alterations within period of significance	
Effect:	None	

Resource No. 64A (4FFB30D2-AA4A-461B-A9CA-FD0C18786E8E.jpeg)

Resource No. 64A (EA7E024E-7661-4AD7-9AB0-A21067082612.jpeg)	

Survey Date:	1/13/2023	
Resource No:	**64B (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	4925 GARLAND AVE, 32.792023/ -96.75847899999999490	
Function/ Subfunction:	Residential	Garage
Form:	Rectangular	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1920 (In field estimate)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Mt. Auburn/ Santa Fe, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Community Planning & Development, Ethnic Heritage, Local level of significance	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 64B (EA7E024E-7661-4AD7-9AB0-A21067082612.jpeg)

Survey Date:	12/30/2022	
Resource No:	**65 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	4929 GARLAND AVE, 32.792043/ -96.758204000000006238	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1907 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Mt. Auburn/ Santa Fe, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Community Planning & Development, Ethnic Heritage, Local level of significance	
Alterations/Additions:	Some windows replaced, Doors replaced	
Integrity Notes:		
Effect:	None	

Resource No. 65 (80C6165D-E9A3-4376-B82F-875AC919B436.jpeg)

Resource No. 65 (00595824-6F75-4D31-B4D8-520334D99A2C.jpeg)	

Survey Date:	12/29/2022	
Resource No:	**66 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	4930 GARLAND AVE, 32.791725999999997/ -96.757868999999999264	
Function/ Subfunction:	Residential	Single-family house
Form:	Front-Gable Bungalow	
Stylistic Influence(s):	Craftsman	
Construction Date:	1925 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	I-30 East Corridor Project (HNTB, Sept. 2022, Resource #26) (Not eligible)	
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Mt. Auburn/ Santa Fe, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Community Planning & Development, Ethnic Heritage, Local level of significance	
Alterations/Additions:	Doors replaced, Storm doors added, Screens replaced	
Integrity Notes:		
Effect:	None	

Resource No. 66	***See photos on following pages.***

Survey Date:	01/25/2022
Resource No:	66 (HHM) [26 (HNTB)]
Project Location:	Dallas
Project Name and CSJ:	I-30 East Corridor Project; 0009-11-252
Address, Lat/Long:	4930 Garland Avenue; 32.791691, -96.757890
Function/Sub-function:	Residence
Construction Date:	1925
NRHP Eligibility:	See HHM 2023 survey form (contributing to Mt. Auburn/ Santa Fe Historic District) (Not Eligible per HNTB)
Integrity/Comments:	Retains sufficient integrity for district threshold per Table G-2 in Appendix G (HHM). Per HNTB: Resource 66 is a front-gable bungalow with a projecting, integral porch. The roof is clad in asphalt shingles and features exposed rafter tails and knee braces, indicative of the craftsman style. The exterior walls are clad in clapboard that appears to be original. The historic-age pier foundation has been covered with metal sheeting. Windows throughout were difficult to date due to very dark screen coverings. The two front doors are non-historic metal replacements. Also present are two non-historic glass and metal storm doors. Historic aerial photography shows no additions or structural alterations to Resource 66. The house sits on a grassed lawn with a historic-age concrete walkway and historic-age concrete steps. Its setback from the street is consistent with all other houses on the street. Resource 66 retains integrity in the aspect of location because it has not been moved, as well as in the aspects of materials, design, workmanship, feeling, and association. There have been no additions or structural alterations to Resource 66, and it has retained its original cladding and roof details and maintains integrity of materials, design, and workmanship. Resource 66 has 2 non-historic front doors and storm doors, but they are not significant enough to compromise overall material integrity. Resource 66 no longer retains integrity in the aspect of setting. The construction of I-30 as well as non-historic in-fill immediately to its west have altered its historic setting. Resource 66 is readily identifiable as a 1925 front-gable bungalow and retains integrity of feeling and association to its time period and architectural type. Though the resource maintains six of the seven aspects of integrity, it is not individually significant enough to warrant inclusion in the NRHP under Criterion C for architecture. Resource 66 does not appear to have an association with significant historical events or individuals important to development of Dallas, Texas. Therefore, Resource 66 is recommended not eligible for the NRHP under Criteria A or B.

HNTB Draft - HHM September 2022

Resource 66 (HHM) [26 (HNTB)]: view of façade (northwest elevation)

HNTB Draft

Resource 66 (HHM) [26 (HNTB)]: façade oblique, facing south

HNTB Draft

Survey Date:	12/29/2022	
Resource No:	**67 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	4934 GARLAND AVE, 32.791834999999999/ -96.757724999999994265	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	Craftsman	
Construction Date:	1916 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	I-30 East Corridor Project (HNTB, Sept. 2022, Resource #27) (Not eligible)	
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Mt. Auburn/ Santa Fe, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Community Planning & Development, Ethnic Heritage, Local level of significance	
Alterations/Additions:	Siding partially replaced, Some windows replaced, Some doors replaced	
Integrity Notes:	Some alterations historic-age	
Effect:	None	

Resource No. 67	*See photos on following pages.*

Survey Date:	01/25/2022
Resource No:	67 (HHM) [27 (HNTB)]
Project Location:	Dallas
Project Name and CSJ:	I-30 East Corridor Project; 0009-11-252
Address, Lat/Long:	4934 Garland Avenue; 32.791784, -96.757721
Function/Sub-function:	Residence
Construction Date:	1916
NRHP Eligibility:	See HHM 2023 survey form (contributing to Mt. Auburn/Santa Fe Historic District) (Not Eligible per HNTB)
Integrity/Comments:	Retains sufficient integrity for district threshold per Table G-2 in Appendix G (HHM). Per HNTB: Resource 67 is a bungalow that has been significantly altered such that it is not readily identifiable as its type. The residence has a hipped roof with a front gable over the integral front porch. The roof is clad in asphalt shingles and has exposed rafter tails, indicative of the craftsman style. The exterior of Resource 67 is clad in a mix of non-historic vinyl, non-historic T1-11 siding, historic-age asbestos siding, and a small section of original wood clapboard. Windows and doors throughout are non-historic replacements of varying styles and materials. A non-historic addition is located at the rear of the resource. The house sits on a grassed lawn with a historic-age concrete walkway and historic-age concrete steps. Its setback from the street is consistent with all other houses on the street. Resource 67 maintains integrity in the aspect of location only, because it has not been moved from its original site of construction. Resource 67 no longer retains integrity in the aspects of materials, design, workmanship, setting, feeling, or association. The application of many different historic-age and non-historic-age cladding materials, the complete replacement of all original windows and doors with non-historic units, and the construction of a non-historic rear addition have negated integrity of materials, design, and workmanship. Integrity of setting has been compromised by the construction of I-30 and nearby non-historic in-fill. Due to significant design and materials changes, Resource 67 no longer retains the feeling of an early 20th century bungalow and has no association to its time or architectural type. Therefore, Resource 67 is recommended not eligible for the NRHP under Criterion C. Resource 67 does not appear to have an association with significant historical events or individuals important to development of Dallas, Texas. Therefore, Resource 67 is recommended not eligible for the NRHP under Criteria A or B.

HNTB Draft - IHRS September 2022

Resource 67 (HHM) [27 (HNTB)]: façade oblique showing variety of cladding materials and non-historic rear addition, facing east

HNTB Draft

Resource 67 (HHM) [27 (HNTB)]: view of façade (northwest elevation)

HNTB Draft

Survey Date:	12/29/2022	
Resource No:	**68 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	4938 GARLAND AVE, 32.791902/ -96.757605999999996266	
Function/ Subfunction:	Residential	Single-family house
Form:	Front-Gable Bungalow	
Stylistic Influence(s):	Craftsman	
Construction Date:	1916 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	I-30 East Corridor Project (HNTB, Sept. 2022, Resource #28) (Not eligible)	
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Mt. Auburn/ Santa Fe, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Community Planning & Development, Ethnic Heritage, Local level of significance	
Alterations/Additions:	Door replaced, Porch altered	
Integrity Notes:		
Effect:	None	

Resource No. 68	***See photos on following pages.***

Survey Date:	01/25/2022
Resource No:	68 (HHM) [28 (HNTB)]
Project Location:	Dallas
Project Name and CSJ:	I-30 East Corridor Project; 0009-11-252
Address, Lat/Long:	4938 Garland Avenue; 32.791877, -96.757625
Function/Sub-function:	Residence
Construction Date:	1916
NRHP Eligibility:	See HHM 2023 survey form (contributing to Mt. Auburn/Santa Fe Historic District) (Not Eligible per HNTB)
Integrity/Comments:	Retains sufficient integrity for district threshold per Table G-2 in Appendix G (HHM). Per HNTB: Resource 68 is a front-gable bungalow with a full-width, integrated front porch. The roof is clad in asphalt shingles and features exposed rafter tails, knee braces, and gable-end stickwork, indicative of the craftsman style. The exterior of the home features what appears to be original wood clapboard siding. Due to privacy fencing, only the façade was visible during survey. The façade features a single window opening and a single door opening, both of which contain non-historic replacement units. The original front porch supports are in the process of being replaced. The front gable contains an enclosed window that has been converted to an attic vent. Historic and contemporary aerial photography does not indicate that there have been any additions or structural alterations to Resource 68. The house sits on a grassed lawn with a historic-age concrete walkway and historic-age concrete steps. Some small landscape trees are located near the sidewalk. Its setback from the street is consistent with all other houses on the street. Resource 68 retains integrity in the aspect of location only, because it has not been moved. Resource 68 no longer retains integrity of materials, design, workmanship, setting, feeling, or association. Integrity of materials, design, and workmanship has been compromised by the replacement of the only window and door visible, the enclosure of the attic window and conversion to a vent, and the complete reconstruction of its character-defining front porch. Integrity of setting has been compromised by the construction of I-30 and nearby non-historic infill. Due to the material and design alterations, Resource 68 is no longer a good example of the front-gable bungalow type and does not retain integrity of feeling and association. Therefore, Resource 68 is recommended not eligible for the NRHP under Criterion C. Resource 68 does not appear to have an association with significant historical events or individuals important to development of Dallas, Texas. Therefore, Resource 68 is recommended not eligible for the NRHP under Criteria A or B.

HNTB Draft HHSR Submittal October 2022

Resource 68 (HHM) [28 (HNTB)]: façade oblique, facing northwest

HNTB Draft

Resource 68 (HHM) [28 (HNTB)]: façade oblique, facing northeast

HNTB Draft

Survey Date:	12/29/2022	
Resource No:	**69 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	4937 LINDSLEY AVE, 32.791527000000002/ -96.757154999999997281	
Function/ Subfunction:	Residential	Duplex house
Form:	Front-Gable Bungalow	
Stylistic Influence(s):	Craftsman	
Construction Date:	1923 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	I-30 East Corridor Project (HNTB, Sept. 2022, Resource #31) (Not eligible)	
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Mt. Auburn/ Santa Fe, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Community Planning & Development, Ethnic Heritage, Local level of significance	
Alterations/Additions:	Some windows replaced	Small rear addition
Integrity Notes:	Some alterations historic-age	
Effect:	Adverse Effect	

Resource No. 69	***See photos on following pages.***

Survey Date:	01/25/2022
Resource No:	69 (HHM) [31 (HNTB)]
Project Location:	Dallas
Project Name and CSJ:	I-30 East Corridor Project; 0009-11-252
Address, Lat/Long:	4937 Lindsley Avenue (HHM) [HNTB 801 South Munger Boulevard]
Function/Sub-function:	Residence
Construction Date:	1923
NRHP Eligibility:	See HHM 2023 survey form (contributing to Mt. Auburn/ Santa Fe Historic District) (Not
Integrity/Comments:	Retains sufficient integrity for district threshold per Table G-2 in Appendix G (HHM). Per HNTB: Resource 69 is a front-gable bungalow with elements of the craftsman style that include exposed rafter tails and knee braces. Exterior materials are a mix of historic-age and non-historic and include historic-age wood clapboard and non-historic pressed or cement board. Windows are a combination of original wood framed units and non-historic replacements of varying materials; some windows are covered with plywood. The exposed pier foundation has been covered with non-historic metal sheeting. Though not accessible due to a fence, it appears that the rear of the house has numerous historic-age and non-historic-age additions that have altered the access within and into the house, as well as changing the overall fenestration pattern. The façade has a central projecting gable that creates an entry porch over what appear to be two front doors. This is corroborated by two separate house numbers on the porch supports, indicating that the house is a duplex. The porch is entirely protected by metal security bars. Resource 69 sits on a corner lot that has both grassy lawn and a gravel parking area. The house has a historic-age concrete walkway and steps, but access is blocked by a chain-link fence. Resource 69 retains integrity in the aspect of location only, because it has not been moved. Resource 69 no longer retains any other aspect of integrity. Numerous additions to the rear of the house, changes in exterior cladding materials, and the installation of non-historic windows and doors has negated integrity of materials, design, and workmanship. Integrity of setting has been significantly impacted by the construction of I-30 and the loss of all other historic-age houses on this section of Lindsley Avenue. Though Resource 69 is identifiable as a bungalow and expresses some elements of the craftsman style, the numerous rear additions, changes in exterior materials, and significant change in historic setting, it no longer retains feeling or association necessary to convey its historic identity. Therefore, Resource 69 is recommended not eligible for the NRHP under Criterion C. Resource 69 does not appear to have an association with significant historical events or individuals important to development of Dallas, Texas. Therefore, Resource 69 is recommended not eligible for the NRHP under Criteria A or B.

HNTB Draft for TAC September 2022

Resource 69 (HHM) [31 (HNTB)]: view of façade (southeast elevation)

HNTB Draft

Resource 69 (HHM) [31 (HNTB)]: view of façade oblique showing rear additions, facing north

HNTB Draft

Resource 69 (HHM) [31 (HNTB)]: view of northeast elevation

HNTB Draft

Survey Date:	12/29/2022	
Resource No:	**70 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	4942 GARLAND AVE, 32.792019000000003/ -96.757515999999995267	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	Minimal Traditional	
Construction Date:	1916 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	I-30 East Corridor Project (HNTB, Sept. 2022, Resource #29) (Not eligible)	
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Mt. Auburn/ Santa Fe, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Community Planning & Development, Ethnic Heritage, Local level of significance	
Alterations/Additions:	Exterior wall materials replaced, Door replaced, Screens replaced	
Integrity Notes:		
Effect:	None	

Resource No. 70	*See photos on following pages.*

Survey Date:	01/25/2022
Resource No:	70 (HHM) [29 (HNTB)]
Project Location:	Dallas
Project Name and CSJ:	I-30 East Corridor Project; 0009-11-252
Address, Lat/Long:	4942 Garland Avenue; 32.791970, -96.757519
Function/Sub-function:	Residence
Construction Date:	1916
NRHP Eligibility:	See HHM 2023 survey form (contributing to Mt. Auburn/Santa Fe Historic District) (Not Eligible per HNTB)
Integrity/Comments:	Retains sufficient integrity for district threshold per Table G-2 in Appendix G (HHM). Per HNTB: Resource 70 is a single-story residence with no known architectural type. It features a side gable roof with a projecting hipped section that contains a small front porch and one-car garage with a non-historic metal rolling door. The asphalt shingle roof has exposed rafter tails, which are the only indication of craftsman style elements. The exterior is clad in non-historic pressed board siding and all windows and doors are non-historic replacements. The porch supports are metal scroll supports that appear to date from the mid-20th century. Resource 70 sits in a grassy corner lot, and its setback is in line with other houses on the street. Resource 70 retains integrity in the aspect of location only, because it has not been moved. Resource 70 no longer retains integrity in the aspects of materials, design, workmanship, setting, feeling, or association. The application of non-historic cladding material, replacement windows and doors, and the installation of a garage door have compromised integrity of materials, design, and workmanship. Integrity of setting has been negatively impacted by the construction of I-30 and nearby non-historic infill. Because Resource 70 has very little visible historic-age material and only minorly expresses any craftsman style elements, it no longer retains integrity of feeling or association as an early 20th century residence. Therefore, Resource 70 is recommended not eligible for the NRHP under Criterion C. Resource 70 does not appear to have an association with significant historical events or individuals important to development of Dallas, Texas. Therefore, Resource 70 is recommended not eligible for the NRHP under Criteria A or B.

HNTB Draft HRR September 2022

Resource 70 (HHM) [29 (HNTB)]: view of façade (northwest elevation) showing garage and non-historic exterior materials

HNTB Draft

Resource 70 (HHM) [29 (HNTB)]: façade oblique facing south

HNTB Draft

Survey Date:	1/25/2022 (HNTB)	
Resource No:	**71 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	709 S MUNGER BLVD, 32.791893000000002/ -96.757389000000003280	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1928 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	I-30 East Corridor Project (HNTB, Sept. 2022, Resource #30) (Not eligible)	
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Lacks significance, Lacks integrity	
NR District, Status:	Mt. Auburn/ Santa Fe, Noncontributing	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	Exterior wall materials replaced, Door replaced, Windows replaced	Side addition
Integrity Notes:		
Effect:	None	

Resource No. 71	*See photos on following pages.*

Survey Date:	01/25/2022
Resource No:	71 (HHM) [30 (HNTB)]
Project Location:	Dallas
Project Name and CSJ:	I-30 East Corridor Project; 0009-11-252
Address, Lat/Long:	709 South Munger Boulevard; 32.791842, -96.757361
Function/Sub-function:	Residence
Construction Date:	1928
NRHP Eligibility:	See HHM 2023 survey form (noncontributing to Mt. Auburn/Santa Fe Historic District) (Not Eligible per HNTB)
Integrity/Comments:	Resource 71 is a one-story residence that exhibits no known architectural type or style. The resource sits on a paved lot behind a non-historic metal and stone fence that restricted access for survey. All portions of the house visible from the ROW exhibit only non-historic materials. The roof, exterior cladding, all windows, and doors, as well as the poured concrete steps and porch landing are recent, non-historic changes. There is no visible historic-age material. Resource 71 retains integrity in the aspect of location only, because it has not been moved. Resource 71 no longer retains integrity in the aspects of materials, design, workmanship, setting, feeling, or association. Resource 71 has been completely encapsulated by non-historic materials with no historic-age material elements visible from any accessible vantage point, negating all integrity of materials, design, and workmanship. Integrity of setting has been compromised by the construction of I-30 and nearby non-historic infill. Because Resource 71 exhibits no historic-age materials of any kind, it no longer retains feeling or association to any historic time period or architectural type or style. Therefore, Resource 71 is recommended not eligible for the NRHP under Criterion C. Resource 71 does not appear to have an association with significant historical events or individuals important to development of Dallas, Texas. Therefore, Resource 71 is recommended not eligible for the NRHP under Criteria A or B.

HNTB Draft HRER Document 2022

Resource 71 (HHM) [30 (HNTB)]: view of façade (northeast elevation) showing all non-historic materials

HNTB Draft

Resource 71 (HHM) [30 (HNTB)]: façade oblique, facing southeast

HNTB Draft

Survey Date:	1/25/2022 (HNTB)	
Resource No:	**72 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	5004 GARLAND AVE, 32.792301000000002/ -96.757166999999995282	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1918 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	I-30 East Corridor Project (HNTB, Sept. 2022, Resource #32) (Not eligible)	
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Lacks significance, Lacks integrity	
NR District, Status:	Mt. Auburn/ Santa Fe, Noncontributing	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	Exterior wall materials replaced, Windows replaced, Porch altered	Dormer added
Integrity Notes:		
Effect:	None	

Resource No. 72	***See photos on following pages.***

Survey Date:	01/25/2022
Resource No:	72 (HHM) [32 (HNTB)]
Project Location:	Dallas
Project Name and CSJ:	I-30 East Corridor Project; 0009-11-252
Address, Lat/Long:	5004 Garland Avenue; 32.792275, -96.757170
Function/Sub-function:	Residence
Construction Date:	1918
NRHP Eligibility:	See HHM 2023 survey form (noncontributing to Mt. Auburn/ Santa Fe Historic District)) (Not Eligible per HNTB)
Integrity/Comments:	Resource 72 is a one-story residence that was likely a bungalow, but no longer exhibits enough historic-age material to be identified as such. The exterior is clad in non-historic brick, and all visible windows are non-historic aluminum units. The asphalt shingle roof is hipped with a front-gabled dormer at the center of the façade. The dormer is the only portion of the exterior of the house that conveys its historic nature. It is clad in wood clapboard and have exposed rafter tails and knee braces that indicate Resource 72 was likely a craftsman style bungalow before the exterior alterations. An integral porch is present on the northeast end of the façade, and though it no longer appears historic-age due to materials changes, is likely an original feature of the resource. Resource 72 occupies a grassy corner lot with numerous trees, a concrete walkway, and what might be an in-ground water feature. The property is defined by a non-historic metal fence. Resource 72 retains integrity in the aspect of location only, because it has not been moved. Resource 72 retains no other aspects of integrity. The application of non-historic brick to all exterior elevations and the replacement of all original windows with non-historic units has negated integrity of materials, design, and workmanship. Integrity of setting has been compromised by the construction of I-30 and nearby non-historic infill. Due to the near complete absence of historic-age exterior materials, Resource 72 lacks integrity of feeling or association to its historic architectural type or style. Therefore, Resource 72 is recommended not eligible for the NRHP under Criterion C. Resource 72 does not appear to have an association with significant historical events or individuals important to development of Dallas, Texas. Therefore, Resource 72 is recommended not eligible for the NRHP under Criteria A or B.

HNTB Draft HSSR September Update 2022

Resource 72 (HHM) [32 (HNTB)]: view of façade (northwest elevation)

HNTB Draft

Resource 72 (HHM) [32 (HNTB)]: view of façade oblique, facing east

HNTB Draft

Survey Date:	12/29/2022	
Resource No:	**73A (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	0 GARLAND AVE, 32.792377000000002/ -96.757024000000001283	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1918 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	I-30 East Corridor Project (HNTB, Sept. 2022, Resource #33) (Not eligible)	
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Mt. Auburn/ Santa Fe, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Community Planning & Development, Ethnic Heritage, Local level of significance	
Alterations/Additions:	Exterior wall materials replaced, Windows replaced, Door replaced, Porch altered	
Integrity Notes:	Some alterations historic-age, Some alterations compatible	
Effect:	None	

Resource No. 73A	***See photos on following pages.***

Survey Date:	01/25/2022
Resource No:	73 (HHM) [33 (HNTB)]
Project Location:	Dallas
Project Name and CSJ:	I-30 East Corridor Project; 0009-11-252
Address, Lat/Long:	5012 Garland Avenue; 32.792368, -96.757040
Function/Sub-function:	Residence
Construction Date:	1918
NRHP Eligibility:	See HHM 2023 survey form (contributing to Mt. Auburn/ Santa Fe Historic District) (Not Eligible per HNTB)
Integrity/Comments:	Retains sufficient integrity for district threshold per Table G-2 in Appendix G (HHM). Per HNTB: Resource 73 is a single-story residence with a hipped roof and gable projection over an integral porch. Porch supports appear to be mid-20th century scrolled metal. The exterior of Resource 73 is clad in non-historic cement board, and all windows and doors are non-historic vinyl and metal replacement units. A rear addition is present but could not be dated due to the application of non-historic exterior cladding and non-historic replacement windows. Resource 73 sits on a grassy lot with a historic-age magnolia tree. The historic-age concrete front porch is accessed by a historic-age concrete walkway with steps. Resource 73 retains integrity in the aspect of location only, because it has not been moved. Resource 73 retains no other aspects of integrity. The application of non-historic cement board to all exterior elevations, the replacement of all original windows with non-historic units, and the construction of a rear addition have negated integrity of materials, design, and workmanship. Integrity of setting has been compromised by the construction of I-30 and nearby non-historic infill. Due to the near complete absence of historic-age exterior materials, Resource 73 lacks integrity of feeling or association to its historic-age architectural type or style. Therefore, Resource 73 is recommended not eligible for the NRHP under Criterion C. Resource 73 does not appear to have an association with significant historical events or individuals important to development of Dallas, Texas. Therefore, Resource 73 is recommended not eligible for the NRHP under Criteria A or B.

HNTB Draft HPSR September 2022

Resource 73 (HHM) [33 (HNTB)]: view of façade oblique facing west, rear addition visible

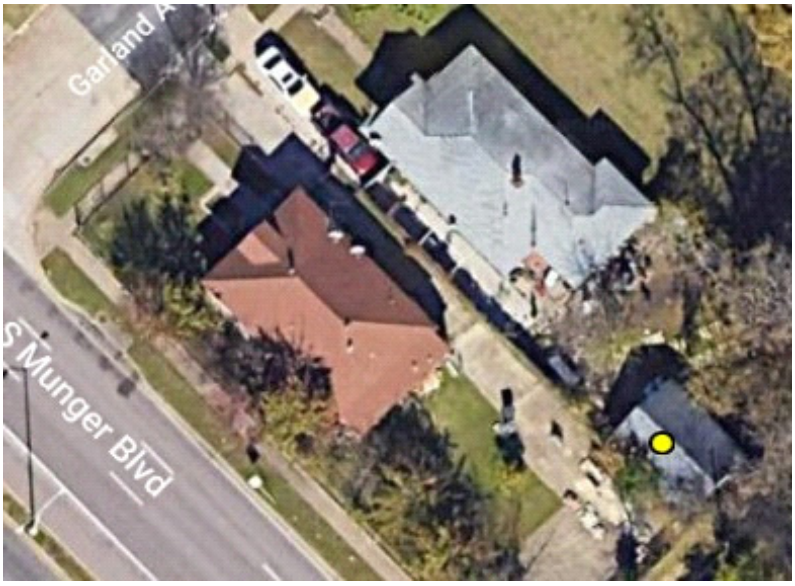
HNTB Draft

Resource 73 (HHM) [33 (HNTB)]: view of façade oblique, facing east

HNTB Draft

Survey Date:	1/13/2023	
Resource No:	**73B (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	0 GARLAND AVE, 32.792220999999998/ -96.75691100000000289	
Function/ Subfunction:	Residential	Garage
Form:	Rectangular	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1930 (In field estimate)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Mt. Auburn/ Santa Fe, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Community Planning & Development, Ethnic Heritage, Local level of significance	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 73B (5010 Garland B.jpg)



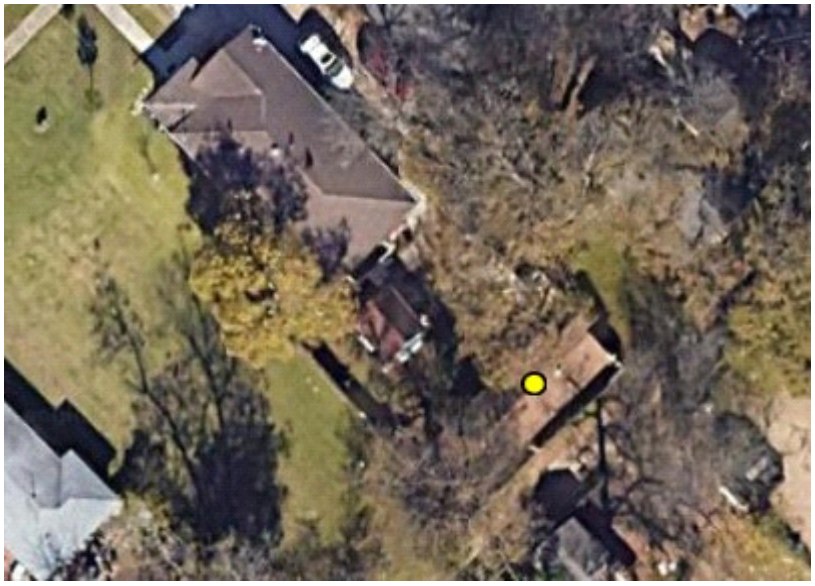
Survey Date:	12/29/2022	
Resource No:	**74A (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	5018 GARLAND AVE, 32.792588000000002/ -96.756800999999996268	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	Minimal Traditional	
Construction Date:	1920 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Mt. Auburn/ Santa Fe, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Community Planning & Development, Ethnic Heritage, Local level of significance	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 74A (BD0631D2-8612-40A6-8717-F7A94B494725.jpeg)

Resource No. 74A (5DD3CA5F-742F-4672-8185-902A53A8D983.jpeg)	

Survey Date:	1/13/2023	
Resource No:	**74B (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	5018 GARLAND AVE, 32.792444000000003/ -96.75660700000000284	
Function/ Subfunction:	Residential	Back house
Form:	Rectangular	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1920 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Mt. Auburn/ Santa Fe, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Community Planning & Development, Ethnic Heritage, Local level of significance	
Alterations/Additions:		
Integrity Notes:	Limited visibility	
Effect:	None	

Resource No. 74B (5018 Garland B.jpg)



Survey Date:	12/29/2022	
Resource No:	**75A (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	5009 LINDSLEY AVE, 32.792006000000001/ -96.756591999999998284	
Function/ Subfunction:	Residential	Single-family house
Form:	Front-Gable Bungalow	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1916 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	I-30 East Corridor Project (HNTB, Sept. 2022, Resource #34) (Not eligible)	
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Mt. Auburn/ Santa Fe, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Community Planning & Development, Ethnic Heritage, Local level of significance	
Alterations/Additions:	Exterior wall materials replaced, Some windows replaced, Porch altered	
Integrity Notes:		
Effect:	None	

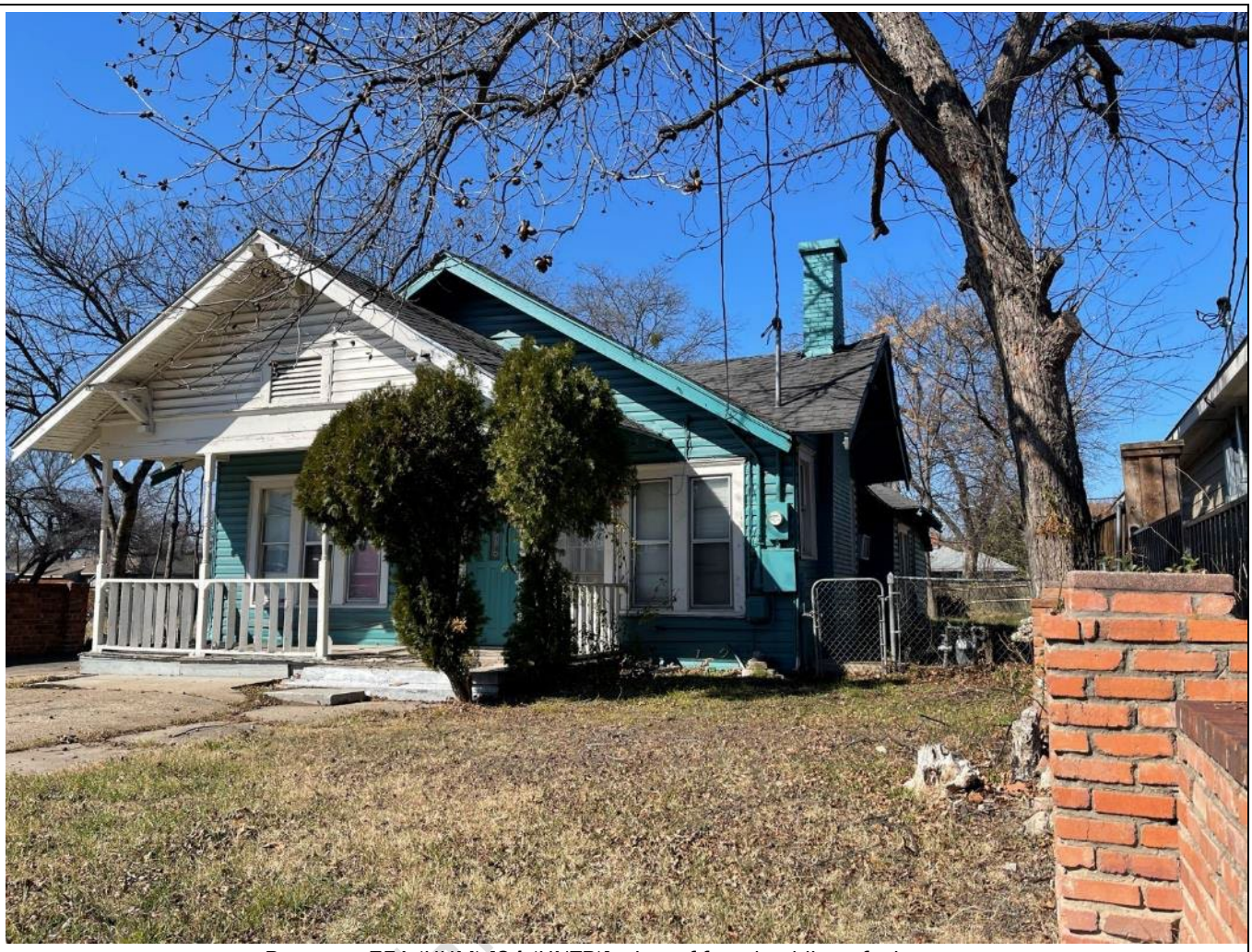
Resource No. 75A	***See photos on following pages.***

Survey Date:	01/25/2022
Resource No:	75A (HHM) [34 (HNTB)]
Project Location:	Dallas
Project Name and CSJ:	I-30 East Corridor Project; 0009-11-252
Address, Lat/Long:	5009 Lindsley Avenue; 32.791970, -96.756562
Function/Sub-function:	Residence
Construction Date:	1916
NRHP Eligibility:	See HHM 2023 survey form (contributing to Mt. Auburn/ Santa Fe Historic District) (Not Eligible per HNTB)
Integrity/Comments:	Retains sufficient integrity for district threshold per Table G-2 in Appendix G (HHM). Per HNTB: Resource 75A is a cross-gable bungalow with a projecting front entry porch. The projecting gable features knee braces and exposed rafter tails. The resource's exterior has been clad entirely in non-historic vinyl siding. The windows are a mix of non-historic vinyl units and non-historic metal units. The front door is a non-historic metal and fixed light replacement. Directly adjacent to the front door and within the same decorative framing is a full-height vinyl window. It could not be confirmed, but the door appears to have replaced an original door opening. The front porch supports, railing, and floor have all been replaced with non-historic materials. The brick exterior chimney has been non-historically painted teal to match the rest of the exterior. Resource 75A sits on a lot that is half grassy lawn and half paved parking area. The property is defined by a visually prominent non-historic brick fence. Resource 75A retains integrity in the aspect of location only, because it has not been moved. Resource 75A retains no other aspects of integrity. The application of non-historic vinyl siding to all exterior elevations, the replacement of all original windows with non-historic units, and the reconstruction of its character-defining front porch have negated integrity of materials, design, and workmanship. Integrity of setting has been compromised by the construction of I-30 and nearby non-historic infill. Due to the near complete absence of historic-age exterior materials, Resource 75A lacks integrity of feeling or association to its historic architectural type or style. Therefore, Resource 34 is recommended not eligible for the NRHP under Criterion C. Resource 75A does not appear to have an association with significant historical events or individuals important to development of Dallas, Texas. Therefore, Resource 75A is recommended not eligible for the NRHP under Criteria A or B.

HNTB Draft HRSR September 2022

Resource 75A (HHM) [34 (HNTB)]: view of façade oblique facing west, rear addition visible

HNTB Draft HRSR Sept

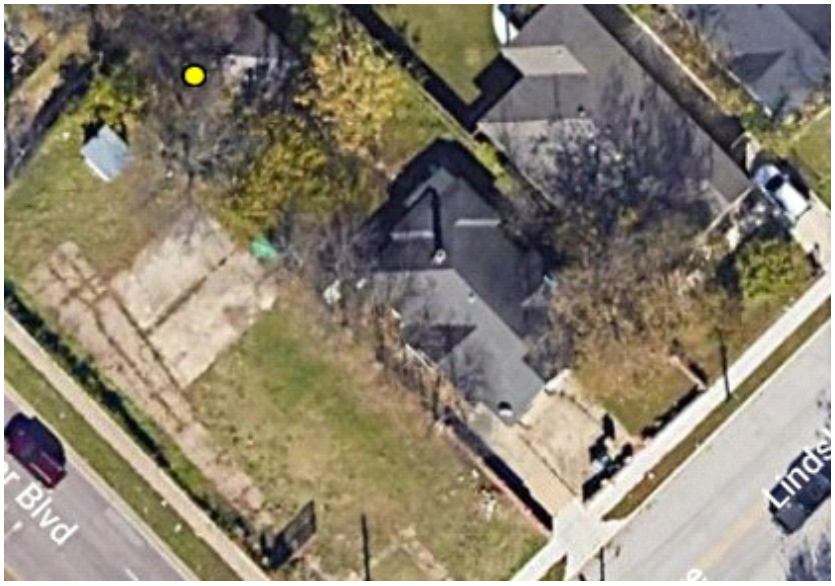


Resource 75A (HHM) [34 (HNTB)]: view of façade oblique facing east

HNTB Draft

Survey Date:	1/13/2023	
Resource No:	**75B (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	5009 LINDSLEY AVE, 32.792144/ -96.75679300000000280	
Function/ Subfunction:	Residential	Garage
Form:	Rectangular	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1916 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Mt. Auburn/ Santa Fe, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Community Planning & Development, Ethnic Heritage, Local level of significance; Based on context given limited visibility	
Alterations/Additions:		
Integrity Notes:	Limited visibility	
Effect:	None	

Resource No. 75B (5009 Lindsley B.jpg)



Survey Date:	12/29/2022	
Resource No:	**76 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	5004 LINDSLEY AVE, 32.791581999999998/ -96.756341000000006287	
Function/ Subfunction:	Residential	Single-family house
Form:	Front-Gable Bungalow	
Stylistic Influence(s):	Craftsman	
Construction Date:	1922 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	I-30 East Corridor Project (HNTB, Sept. 2022, Resource #37) (Not eligible)	
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Mt. Auburn/ Santa Fe, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Community Planning & Development, Ethnic Heritage, Local level of significance	
Alterations/Additions:	Exterior wall materials replaced, Door replaced, window replaced, Porch partially altered	
Integrity Notes:		
Effect:	None	

Resource No. 76	***See photos on following pages.***

Survey Date:	01/25/2022
Resource No:	76 (HHM) [37 (HNTB)]
Project Location:	Dallas
Project Name and CSJ:	I-30 East Corridor Project; 0009-11-252
Address, Lat/Long:	5004 Lindsley Avenue; 32.791556, -96.756357
Function/Sub-function:	Residence
Construction Date:	1922
NRHP Eligibility:	See HHM 2023 survey form (contributing to Mt. Auburn/ Santa Fe Historic District) (Not Eligible per HNTB)
Integrity/Comments:	Retains sufficient integrity for district threshold per Table G-2 in Appendix G (HHM). Per HNTB: Resource 76 is a front-gable bungalow with an integral front porch beneath a projecting gable. The original expose rafter tails have been clipped and concealed with bargeboard. All original windows and doors have been replaced with non-historic vinyl and metal replacements. The original exterior cladding, which was like wood clapboard, has been covered or replaced with non-historic vinyl siding. Non-historic stone veneer has been applied as a water table on all visible elevations. The brick supports and single batter column of the front porch appear original. There do not appear to have been any additions or structural alterations to the resource. Resource 76 sits on a grassy lot with privacy trees and a non-historic paved driveway and parking pad. The front porch is accessed by a historic-age concrete walkway with steps. The property is defined by a non-historic metal and stone fence. Resource 76 retains integrity in the aspect of location only, because it has not been moved from its original site of construction. Due to comprehensive non-historic alterations, Resource 76 retains no other aspects integrity. Integrity of materials, design, and workmanship has been lost due to the replacement of all windows and doors with non-historic vinyl and metal units, the application of non-historic vinyl siding to all elevations, and the application of a non-historic stone veneer water table to all elevations. Integrity of setting has been compromised by the construction of I-30, the demolition of neighboring historic-age homes, and nearby non-historic infill. Because very little historic-age material is visible and because the historic setting has been compromised, Resource 76 no longer retains integrity of feeling or association to its historic time period or architectural type and style. Therefore, Resource 76 is recommended not eligible for the NRHP under Criterion C. Resource 76 does not appear to have an association with significant historical events or individuals important to development of Dallas, Texas. Therefore, Resource 76 is recommended not eligible for the NRHP under Criteria A or B.

HNTB Draft HRER September 2022

Resource 76 (HHM) [37 (HNTB)]: view of façade oblique, facing south

HNTB Draft HRSR

Resource 76 (HHM) [37 (HNTB)]: view of façade oblique, facing north

HNTB Draft

Survey Date:	12/29/2022	
Resource No:	**77 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	5008 LINDSLEY AVE, 32.791694999999997/ -96.756241000000003288	
Function/ Subfunction:	Residential	Duplex house
Form:	Cross-Gable Bungalow	
Stylistic Influence(s):	Craftsman	
Construction Date:	1925 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	I-30 East Corridor Project (HNTB, Sept. 2022, Resource #38) (Not eligible)	
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Mt. Auburn/ Santa Fe, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Community Planning & Development, Ethnic Heritage, Local level of significance	
Alterations/Additions:	Doors replaced, Windows replaced, Porch rails added	
Integrity Notes:		
Effect:	None	

Resource No. 77	*See photos on following pages.*

Survey Date:	01/25/2022
Resource No:	77 (HHM) [38 (HNTB)]
Project Location:	Dallas
Project Name and CSJ:	I-30 East Corridor Project; 0009-11-252
Address, Lat/Long:	5008 & 5010 Lindsley Avenue; 32.791660, -96.756244
Function/Sub-function:	Residence
Construction Date:	1925
NRHP Eligibility:	See HHM 2023 survey form (contributing to Mt. Auburn/ Santa Fe Historic District) (Not Eligible per HNTB)
Integrity/Comments:	Retains sufficient integrity for district threshold per Table G-2 in Appendix G (HHM). Per HNTB: Resource 77 is a one-story, cross-gable bungalow with a porch beneath its projecting front gable. The residence has two front doors and two street numbers, indicating it is or historically was a duplex. All visible gables are clipped and feature boxed eaves and stucco in the gable ends. Exterior walls are clad in red brick that appears to be original. All visible windows are non-historic vinyl replacements. The two front doors are also non-historic replacements – one metal slab, and the other wood slab. Both are covered by non-historic metal and glass storm doors. The front porch balustrade is a non-historic replacement. There do not appear to be any additions or major structural alterations to the resource. Resource 77 sits on a narrow, grassy, and paved lot with landscape trees. The front porch is accessed by a historic-age concrete walkway with steps. Resource 77 retains integrity in the aspect of location only, because it has not been moved from its original site of construction. Due to non-historic alterations to the building and the setting, Resource 77 retains no other aspects integrity. Integrity of materials, design, and workmanship has been lost due to the replacement of all windows and doors with non-historic vinyl, metal, and wood units; the application of non-historic stucco to the gable ends; and the non-historic balustrade. Integrity of setting has been compromised by the construction of I-30, the demolition of neighboring historic-age homes, and nearby non-historic infill. Because historic-age material has been removed and because the historic setting has been compromised, Resource 77 no longer retains integrity of feeling or association to its historic time period or architectural type and style. Therefore, Resource 77 is recommended not eligible for the NRHP under Criterion C. Resource 77 does not appear to have an association with significant historical events or individuals important to development of Dallas, Texas. Therefore, Resource 77 is recommended not eligible for the NRHP under Criteria A or B.

HNTB Draft HHSR September 2022

Resource 77 (HHM) [38 (HNTB)]: view of façade oblique, facing south

HNTB Draft

Resource 77 (HHM) [38 (HNTB)]: view of façade oblique, facing north

HNTB Draft

Survey Date:	1/28/2022 (HNTB)	
Resource No:	**78 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	5014 LINDSLEY AVE, 32.791775000000001/ -96.75609289	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1916 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	I-30 East Corridor Project (HNTB, Sept. 2022 I-30 East Corridor Project (HNTB, Sept. 2022, Resource #39) (Not eligible)	
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Lacks integrity, Lacks significance	
NR District, Status:	Mt. Auburn/ Santa Fe, Noncontributing	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	Exterior wall materials replaced, Door replaced, Windows replaced, Porch altered	2-story rear addition
Integrity Notes:		
Effect:	None	

Resource No. 78	***See photos on following pages.***

Survey Date:	01/25/2022
Resource No:	78 (HHM) [39 (HNTB)]
Project Location:	Dallas
Project Name and CSJ:	I-30 East Corridor Project; 0009-11-252
Address, Lat/Long:	5014 Lindsley Avenue; 32.791747, -96.756111
Function/Sub-function:	Residence
Construction Date:	1916
NRHP Eligibility:	See HHM 2023 survey form (noncontributing to Mt. Auburn/Santa Fe Historic District) (Not Eligible per HNTB)
Integrity/Comments:	Resource 78 was likely originally a single-story bungalow with elements of the craftsman style. This is indicated by use of clipped gables, knee braces, and a projecting front porch. However, non-historic alterations to the resource have significantly changed its appearance. The exterior is clad in a mix of non-historic brick and non-historic stone veneer. All windows have been replaced with non-historic vinyl units. The front door is a non-historic wood and fixed light replacement. The porch supports are non-historic cast concrete columns, and the porch floor and front walkway are both non-historic poured concrete. A large second story addition was constructed atop the southern end of the residence between 2011 and 2012 and is visible from the façade. The gable end of the addition is clad in non-historic vinyl siding. A deck and staircase constructed of contemporary treated lumber is visible at the rear. Resource 78 sits on a lot with numerous trees and shrubs, some lawn, a paved driveway, and paved walkways. The property is defined by a non-historic metal and brick fence. The resource is accessed by historic-age poured concrete stairs and small section of historic-age poured concrete walkway. Resource 78 retains integrity in the aspect of location only, because it has not been moved from its original site of construction. Due to comprehensive non-historic alterations, Resource 78 retains no other aspects integrity. Integrity of materials, design, and workmanship has been lost due to the replacement of all windows and doors with non-historic vinyl and wood units, the application of non-historic brick and stone veneer to all elevations, and the construction of a second story addition. Integrity of setting has been compromised by the construction of I-30, the demolition of neighboring historic-age homes, and nearby non-historic infill. Because no historic-age material is visible and because the historic setting has been compromised, Resource 78 no longer retains integrity of feeling or association to its historic time period or architectural type and style. Therefore, Resource 78 is recommended not eligible for the NRHP under Criterion C. Resource 78 does not appear to have an association with significant historical events or individuals important to development of Dallas, Texas. Therefore, Resource 78 is recommended not eligible for the NRHP under Criteria A or B.

HNTB Draft HRSR September 2022

Resource 78 (HHM) [39 (HNTB)]: view of façade (northwest elevation), rear addition visible above roof

HNTB Draft

Resource 78 (HHM) [39 (HNTB)]: view of façade oblique facing east showing non-historic rear addition, staircase, and deck

HNTB Draft

Survey Date:	12/29/2022	
Resource No:	**79 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	5019 LINDSLEY AVE, 32.792195/ -96.756366285	
Function/ Subfunction:	Residential	Single-family house
Form:	Front-Gable Bungalow	
Stylistic Influence(s):	Craftsman	
Construction Date:	1922 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	I-30 East Corridor Project (HNTB, Sept. 2022, Resource #35) (Not eligible)	
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Mt. Auburn/ Santa Fe, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Community Planning & Development, Ethnic Heritage, Local level of significance	
Alterations/Additions:	Exterior wall materials replaced, Windows replaced, Porch repairs ongoing	
Integrity Notes:	Alterations compatible	
Effect:	None	

Resource No. 79	***See photos on following pages.***

Survey Date:	01/25/2022
Resource No:	79 (HHM) [35 (HNTB)]
Project Location:	Dallas
Project Name and CSJ:	I-30 East Corridor Project; 0009-11-252
Address, Lat/Long:	5019 Lindsley Avenue; 32.792133, -96.756343
Function/Sub-function:	Residence
Construction Date:	1922
NRHP Eligibility:	See HHM 2023 survey form (contributing to Mt. Auburn/ Santa Fe Historic District) (Not Eligible per HNTB)
Integrity/Comments:	Retains sufficient integrity for district threshold per Table G-2 in Appendix G (HHM). Per HNTB: Resource 79 is a single-story residence that was originally a front-gabled bungalow with elements of the craftsman style. Images on Google Streetview show that in March of 2021, Resource 79 was clad in its original wood clapboard and had exposed rafter tails, knee braces, and battered wood porch supports atop brick bases. By the time of survey, the resource had been significantly altered. The exterior has been clad in non-historic cement board, and all windows and doors have been replaced with non-historic units. The exposed rafter tails, knee braces, and battered porch supports have been removed; and the brick bases, though intact, have been painted. The integral front porch and steps have been rebuilt with non-historic lumber. A wood privacy fence now obscures half of the façade. Resource 79 sits on a grassy lot and is accessed by a historic-age concrete walkway with steps. Resource 79 retains integrity in the aspect of location only, because it has not been moved. Resource 79 retains no other aspects of integrity. The application of non-historic cement board to all exterior elevations, the replacement of all original windows and doors with non-historic units, and the near complete reconstruction of the integral front porch have negated integrity of materials, design, and workmanship. Integrity of setting has been compromised by the construction of I-30, demolition of historic-age houses, and nearby non-historic infill. Due to the near complete absence of historic-age exterior materials, Resource 79 lacks integrity of feeling or association to its historic architectural type or style. Therefore, Resource 79 is recommended not eligible for the NRHP under Criterion C. Resource 79 does not appear to have an association with significant historical events or individuals important to development of Dallas, Texas. Therefore, Resource 79 is recommended not eligible for the NRHP under Criteria A or B.

HNTB Draft HHSR September 2022

Resource 79 (HHM) [35 (HNTB)]: view of resource in March 2021, Source: Google Streetview (facing northwest)

HNTB Draft HRSR

Resource 79 (HHM) [35 (HNTB)]: view of façade (southeast elevation) at time of survey

HNTB Draft

Survey Date:	12/29/2022	
Resource No:	**80 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	5018 LINDSLEY AVE, 32.791879000000002/ -96.755989999999997290	
Function/ Subfunction:	Residential	Single-family house
Form:	Modified L-plan	
Stylistic Influence(s):	National Folk	
Construction Date:	1923 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	I-30 East Corridor Project (HNTB, Sept. 2022, Resource #40) (Not eligible)	
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Mt. Auburn/ Santa Fe, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Community Planning & Development, Ethnic Heritage, Local level of significance	
Alterations/Additions:	Exterior wall materials replaced, Windows replaced, Porch post replaced	
Integrity Notes:	Alterations compatible	
Effect:	None	

Resource No. 80	***See photos on following pages.***

Survey Date:	01/25/2022
Resource No:	80 (HHM) [40 (HNTB)]
Project Location:	Dallas
Project Name and CSJ:	I-30 East Corridor Project; 0009-11-252
Address, Lat/Long:	5018 Lindsley Avenue; 32.791849, -96.756009
Function/Sub-function:	Residence
Construction Date:	1923
NRHP Eligibility:	See HHM 2023 survey form (contributing to Mt. Auburn/ Santa Fe Historic District) (Not Eligible per HNTB)
Integrity/Comments:	Retains sufficient integrity for district threshold per Table G-2 in Appendix G (HHM). Per HNTB: Resource 80 is a single-story residence with a hipped roof, boxed eaves, and front gable projection that creates an integral front porch. All exterior materials are non-historic and include cement board siding, vinyl windows, and a metal slab door. Non-historic brick veneer serving as a water table is visible on the northeast elevation. Resource 80 sits on a lot that is half grassy lawn, half paved driveway and gravel parking area. The house is accessed by a non-historic poured concrete walkway with steps. The property is defined by a non-historic metal fence at the front and non-historic wood privacy fencing on the sides and rear. Resource 80 retains integrity in the aspect of location only, because it has not been moved from its original site of construction. Due to comprehensive non-historic alterations, Resource 80 retains no other aspects integrity. Integrity of materials, design, and workmanship has been lost due to the replacement of all windows and doors with non-historic vinyl and metal units, the application of non-historic cement board siding to all elevations, and the application of a non-historic brick veneer water table to all elevations. Integrity of setting has been compromised by the construction of I-30, the demolition of neighboring historic-age homes, and nearby non-historic infill. Because no historic-age material is visible and because the historic setting has been compromised, Resource 80 no longer retains integrity of feeling or association to its historic time period or architectural type and style. Therefore, Resource 80 is recommended not eligible for the NRHP under Criterion C. Resource 80 does not appear to have an association with significant historical events or individuals important to development of Dallas, Texas. Therefore, Resource 80 is recommended not eligible for the NRHP under Criteria A or B.

HNTB Draft ICOR September 2022

Resource 80 (HHM) [40 (HNTB)]: view of façade oblique, facing south

HNTB Draft

Resource 80 (HHM) [40 (HNTB)]: view of façade (northwest elevation)

HNTB Draft

Survey Date:	12/29/2022	
Resource No:	**81 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	5021 LINDSLEY AVE, 32.792296/ -96.756247000000002286	
Function/ Subfunction:	Residential	Duplex house
Form:	Cross-Gable Bungalow	
Stylistic Influence(s):	Craftsman	
Construction Date:	1923 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	I-30 East Corridor Project (HNTB, Sept. 2022, Resource #36) (Not eligible)	
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Mt. Auburn/ Santa Fe, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Community Planning & Development, Ethnic Heritage, Local level of significance	
Alterations/Additions:	New storm doors	
Integrity Notes:	Asbestos shingle siding possibly original	
Effect:	None	

Resource No. 81	***See photos on following pages.***

Survey Date:	01/25/2022
Resource No:	81 (HHM) [36 (HNTB)]
Project Location:	Dallas
Project Name and CSJ:	I-30 East Corridor Project; 0009-11-252
Address, Lat/Long:	5021 Lindsley Avenue; 32.792239, -96.756205
Function/Sub-function:	Residence
Construction Date:	1923
NRHP Eligibility:	See HHM 2023 survey form (contributing to Mt. Auburn/ Santa Fe Historic District) (Not Eligible per HNTB)
Integrity/Comments:	Retains sufficient integrity for district threshold per Table G-2 in Appendix G (HHM). Per HNTB: Resource 81 is a cross-gable bungalow with elements of the craftsman style, including exposed rafter tails, knee braces, and battered wood porch supports on brick bases. The exterior is clad in historic-age asbestos siding. Windows throughout are non-historic vinyl replacements. The façade has two front doors, both of which are non-historic metal replacements with non-historic metal and glass storm doors. Though hard to discern from the ROW, Resource 81 has a large rear addition. Historic aerial photography indicates the addition is either historic-age construction or the enclosure of a historic-age porch. The property was surrounded by a fence, so the materials of the addition could not be dated. Resource 81 sits on a grassy lot with no walkway. The perimeter is defined by a combination of an open wood fence and chain-link fencing. Resource 81 retains integrity in the aspects of location and association. Resource 36 has not been moved from its original site of construction, and though it has sustained historic-age and non-historic alterations, the intact nature of its craftsman elements and historic design from the street convey the resource's association to its architectural type and style. Resource 81 does not retain integrity in the aspects of materials, design, workmanship, feeling, or setting. The replacement of all windows and doors with non-historic units and the addition or porch enclosure at the rear have negatively impacted the resource's integrity of materials, design, and workmanship. Though it retains integrity of association, the intrusion of non-historic materials has changed the nature of the house such that it no longer feels like an early-20th century residence, thus compromising integrity of feeling. Integrity of setting has been impacted by the construction of I-30, the demolition of nearby historic-age resources, the alteration of neighboring historic-age resources, and non-historic infill. Therefore, Resource 81 is recommended not eligible for the NRHP under Criterion C. Resource 81 does not appear to have an association with significant historical events or individuals important to development of Dallas, Texas. Therefore, Resource 81 is recommended not eligible for the NRHP under Criteria A or B.

HNTB Draft HRR 3 30 October 2022

Resource 81 (HHM) [36 (HNTB)]: view of façade (southeast elevation)

HNTB Draft

Resource 81 (HHM) [36 (HNTB)]: view of façade oblique facing northwest, rear addition visible

HNTB Draft

Survey Date:	12/29/2022	
Resource No:	**82 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	0 LINDSLEY AVE, 32.791967999999997/ -96.755889999999994291	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1950 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	I-30 East Corridor Project (HNTB, Sept. 2022, Resource #41) (Not eligible)	
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Mt. Auburn/ Santa Fe, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Community Planning & Development, Ethnic Heritage, Local level of significance	
Alterations/Additions:	Exterior wall materials replaced, Windows replaced, Fenestration pattern altered	
Integrity Notes:		
Effect:	None	

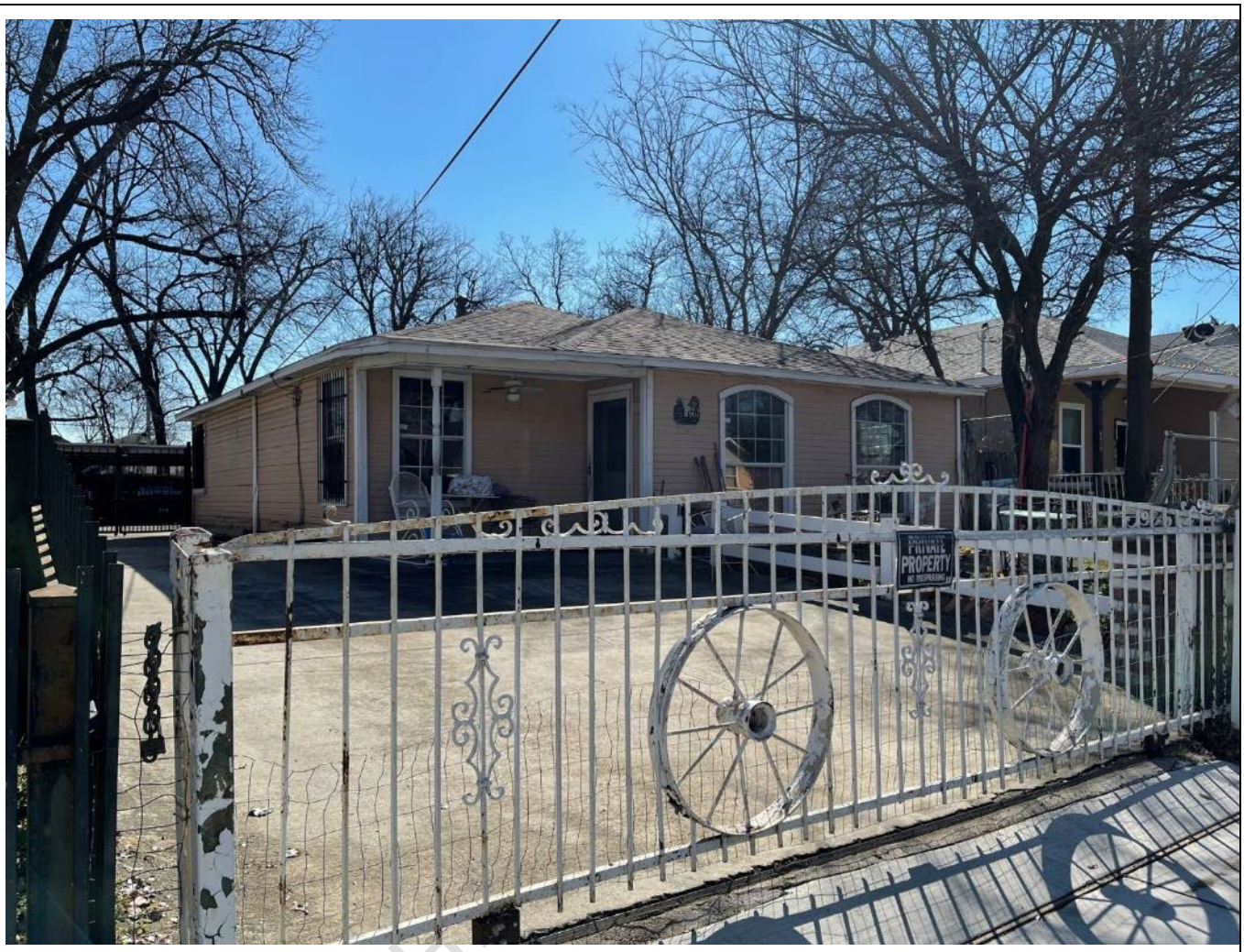
Resource No. 82	*See photos on following pages.*

Survey Date:	01/25/2022
Resource No:	82 (HHM) [41 (HNTB)]
Project Location:	Dallas
Project Name and CSJ:	I-30 East Corridor Project; 0009-11-252
Address, Lat/Long:	5024 Lindsley Avenue; 32.791952, -96.755912
Function/Sub-function:	Residence
Construction Date:	1950
NRHP Eligibility:	See HHM 2023 survey form (contributing to Mt. Auburn/ Santa Fe Historic District) (Not Eligible per HNTB)
Integrity/Comments:	Retains sufficient integrity for district threshold per Table G-2 in Appendix G (HHM). Per HNTB: Resource 82 is a single-story residence with a hipped roof and façade projection that creates an integral front porch. All exterior materials are non-historic and include vinyl siding, vinyl windows, and a metal and fixed light door covered by a metal and glass storm door. Resource 82 sits on a lot that is half grassy lawn, half paved driveway and parking area. The house has no walkway from the sidewalk. The property is defined by a potentially-historic-age metal fence at the front and non-historic wood privacy fencing at the rear. Resource 82 retains integrity in the aspect of location only, because it has not been moved from its original site of construction. Due to comprehensive non-historic alterations, Resource 82 retains no other aspects integrity. Integrity of materials, design, and workmanship has been lost due to the replacement of all windows and doors with non-historic vinyl and metal units and the application of non-historic vinyl siding to all elevations. Integrity of setting has been compromised by the construction of I-30, the demolition of neighboring historic-age homes, and nearby non-historic infill. Because no historic-age material is visible and because the historic setting has been compromised, Resource 82 no longer retains integrity of feeling or association to its historic time period or architectural type and style. Therefore, Resource 82 is recommended not eligible for the NRHP under Criterion C. Resource 82 does not appear to have an association with significant historical events or individuals important to development of Dallas, Texas. Therefore, Resource 82 is recommended not eligible for the NRHP under Criteria A or B.

HNTB Draft HSSR September 2022

Resource 82 (HHM) [41 (HNTB)]: view of façade (northwest elevation)

HNTB Draft



Resource 82 (HHM) [41 (HNTB)]: view of façade oblique, facing south

HNTB Draft

Survey Date:	12/29/2022	
Resource No:	**83A (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	5102 LINDSLEY AVE, 32.792082000000001/ -96.755782999999994269	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1926 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Mt. Auburn/ Santa Fe, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Community Planning & Development, Ethnic Heritage, Local level of significance	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 83A (4EEB77C1-AE2F-4F50-B955-23B5708FD27C.jpeg)

Resource No. 83A (56979EB2-96D3-40DC-9D84-553A3DD32247.jpeg)	

Survey Date:	1/13/2023	
Resource No:	**83B (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	5102 LINDSLEY AVE, 32.792006999999998/ -96.75557299999999875	
Function/ Subfunction:	Residential	Garage
Form:	Rectangular	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1926 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Mt. Auburn/ Santa Fe, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Community Planning & Development, Ethnic Heritage, Local level of significance	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 83B (56979EB2-96D3-40DC-9D84-553A3DD32247.jpeg)

Survey Date:	12/29/2022	
Resource No:	**84A (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	5106 LINDSLEY AVE, 32.792161/ -96.755668270	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	Craftsman	
Construction Date:	1926 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Mt. Auburn/ Santa Fe, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Community Planning & Development, Ethnic Heritage, Local level of significance	
Alterations/Additions:	Porch altered, All windows replaced	
Integrity Notes:		
Effect:	None	

Resource No. 84A (FCFD83D2-A35E-4978-9E77-8983791CB552.jpeg)

Resource No. 84A (9AC27D26-1E1C-4842-A131-BB6788250B9E.jpeg)	

Survey Date:	1/13/2023	
Resource No:	**84B (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	5106 LINDSLEY AVE, 32.792107000000001/ -96.75548100000000369	
Function/ Subfunction:	Residential	Garage
Form:	Rectangular	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1926 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Mt. Auburn/ Santa Fe, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Community Planning & Development, Ethnic Heritage, Local level of significance	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 84B (56979EB2-96D3-40DC-9D84-553A3DD32247.jpeg)

Survey Date:	12/29/2022	
Resource No:	**85A (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	5101 PARRY AVE, 32.791626000000001/ -96.755482000000001292	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	Craftsman	
Construction Date:	1923 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	I-30 East Corridor Project (HNTB, Sept. 2022, Resource #69) (Not eligible)	
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Mt. Auburn/ Santa Fe, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Community Planning & Development, Ethnic Heritage, Local level of significance	
Alterations/Additions:	Exterior wall materials replaced, Some windows replaced, Porch altered	
Integrity Notes:		
Effect:	None	

Resource No. 85A	***See photos on following pages.***

Survey Date:	01/26/2022
Resource No:	85A (HHM) [69 (HNTB)]
Project Location:	Dallas
Project Name and CSJ:	I-30 East Corridor Project; 0009-11-252
Address, Lat/Long:	5101 Parry Avenue; 32.791563, -96.755490
Function/Sub-function:	Residence
Construction Date:	1923
NRHP Eligibility:	See HHM 2023 survey form (contributing to Mt. Auburn/Santa Fe Historic District) (Not Eligible per HNTB)
Integrity/Comments:	See HHM survey form; Retains sufficient integrity for district threshold per Table G-2 in Appendix G (HHM). Per HNTB: Resource 85A is a one-story house standing on a concrete slab foundation. The house facessoutheast and is clad in non-historic wood clapboards. The core of the house has a hipped roof clad in non-historic asphalt shingles. Projected clipped gable roofs are located on the east side of the main elevation and the southwest elevation. The main elevationis fenestrated by a non-historic 4/4 vinyl double-sash window and a non-historic vinyl double casement window spanned by a fixed light. The main elevation is accessed from a concrete porch under the front-facing clipped gable roof. The non-historic vinyl front door faces northeast and is covered by a non-historic windowed storm door. The porch has concrete steps and two non-historic wood posts resting in non-historic brick footings that support the clipped gable roof. The northeast elevation has a non-historic 4/4 vinyl double-sash window and a smaller non-historic 1/1 vinyl double-sash window. The southwest elevation has two non-historic 1/1 vinyl double-sash windows, a window bay of one non-historic fixed vinyl window flanked by two 1/1 double-sash windowsunder the projected clipped gable roof, and a single non-historic fixed vinyl window. A non-historic hipped roof shed stands directly north of the house. The roof is clad in asphalt shingles and is accessed from a pair of windowed vinyl doors under a shed roof projection. Resource 85A retains integrity in the aspects of location and setting only. The property stands in its original location within a residential setting. The replacement of the original door and windows and changes the cladding and other historic-age materials have reduced integrity in theaspects of design, materials, and workmanship. Without the ability to convey significance in the aspect of design, the building no longer evokes a sense of a residence in the early- twentieth century. Due to the design changes, Resource 85A no longer possesses a direct link to the past and does not retain integrity in the aspect of association. Research did not reveal an association between Resource 85A and any events or people thathave made significant contributions to history in Dallas. Therefore, the property is recommended not eligible under Criterion A or B. The property was evaluated under Criterion C and is recommended not eligible. Although it retains some aspects of integrity, changes to historic-age materials inhibit its ability to convey significance of a particular era.

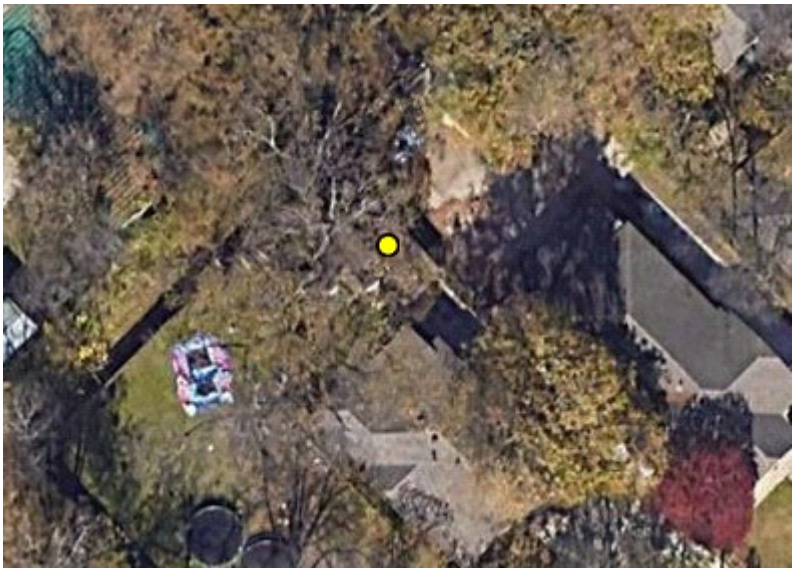
HNTB Draft HHM September 2022

Resource 85A (HHM) [69 (HNTB)]: view of façade (southeast elevation)

HNTB Draft

Survey Date:	1/13/2023	
Resource No:	**85B (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	5101 PARRY AVE, 32.791744999999999/ -96.75552500000000664	
Function/ Subfunction:	Residential	Garage
Form:	Rectangular	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1923 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Mt. Auburn/ Santa Fe, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Community Planning & Development, Ethnic Heritage, Local level of significance; Based on context given limited visibility	
Alterations/Additions:		
Integrity Notes:	Visibility limited	
Effect:	None	

Resource No. 85B (5101 Parry B.jpg)



Survey Date:	1/26/2022 (HNTB)	
Resource No:	**86 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	5103 PARRY AVE, 32.791682000000002/ -96.755315999999993293	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1923 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	I-30 East Corridor Project (HNTB, Sept. 2022, Resource #68) (Not eligible)	
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Lacks integrity, Lacks significance	
NR District, Status:	Mt. Auburn/ Santa Fe, Noncontributing	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	Exterior wall materials replaced, Door replaced, Windows replaced, Fenestration pattern altered, Porch altered	
Integrity Notes:		
Effect:	None	

Resource No. 86	***See photos on following pages.***

Survey Date:	01/26/2022
Resource No:	86 (HHM) [68 (HNTB)]
Project Location:	Dallas
Project Name and CSJ:	I-30 East Corridor Project; 0009-11-252
Address, Lat/Long:	5103 Parry Avenue; 32.791622, -96.755312
Function/Sub-function:	Residence
Construction Date:	1923
NRHP Eligibility:	See HHM 2023 survey form (noncontributing to Mt. Auburn/Santa Fe Historic District) (Not Eligible per HNTB)
Integrity/Comments:	Resource 86 is a one-story house standing on a concrete slab foundation. The house faces southeast and is clad in a variegated brick veneer. The core of the house has a side-facing clipped gable roof with a projected front-facing clipped gable roof facing southeast and a lower hipped roof at the rear of the house. The roof is clad in non-historic asphalt shingles. The main elevation is fenestrated by two non-historic 1/1 vinyl double-sash windows topped with fan lights and a non-historic vinyl door with a fanlight shaped window. A concrete porch spans the central portion of the main elevation and supports the front-facing clipped gable roof with brick segmental arches. A non-historic concrete ramp has been added to the east side of the porch. A course of solider bricks lines the open gable wall. Decorative brackets are located along all three gable walls. The northeast elevation has two non-historic 1/1 vinyl double-sash window and a smaller non-historic vinyl fixed window. The southwest elevation has four non-historic 1/1 vinyl double-sash windows, two smaller non-historic 1/1 vinyl double-sash window, and a single non-historic vinyl fixed window. A non-historic carport stands directly north of the house. It has a front-facing gable roof clad in asphalt shingles and vinyl clapboards. The carport has one large central opening. Resource 86 retains integrity in the aspects of location and setting only. The property stands in its original location within a residential setting. The replacement of the original door and windows have reduced integrity in the aspects of design, materials, and workmanship. Without the ability to convey significance in the aspect of design, the building no longer evokes a sense of a residence in the early-twentieth century. Due to the design changes, Resource 86 no longer possesses a direct link to the past and does not retain integrity in the aspect of association. Research did not reveal an association between Resource 86 and any events or people that have made significant contributions to history in Dallas. Therefore, the property is recommended not eligible under Criterion A or B. The property was evaluated under Criterion C and is recommended not eligible. Although it retains some aspects of integrity, changes to historic-age materials inhibit its ability to convey significance of a particular era.

HNTB Draft HASR Report April 2022

Resource 86 (HHM) [68 (HNTB)]: view of façade (southeast elevation)

HNTB Draft

Resource 86 (HHM) [68 (HNTB)]: oblique view of façade and northeast elevation

HNTB Draft

Survey Date:	12/29/2022	
Resource No:	**87 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	5107 PARRY AVE, 32.791750999999998/ -96.755184999999997275	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	Craftsman	
Construction Date:	1924 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Mt. Auburn/ Santa Fe, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Community Planning & Development, Ethnic Heritage, Local level of significance	
Alterations/Additions:	All windows replaced	
Integrity Notes:		
Effect:	None	

Resource No. 87 (FAC96F5C-52CB-4549-9971-F048555BE890.jpeg)

Resource No. 87 (7D230342-D03D-4B90-A652-F7BB0041B81A.jpeg)	

Survey Date:	12/29/2022	
Resource No:	**88 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	5111 PARRY AVE, 32.791848000000002/ -96.755065999999999274	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	Craftsman	
Construction Date:	1924 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Mt. Auburn/ Santa Fe, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Community Planning & Development, Ethnic Heritage, Local level of significance	
Alterations/Additions:	Some exterior wall materials replaced, All windows replaced	
Integrity Notes:		
Effect:	None	

Resource No. 88 (42C631E0-5609-40D9-B982-E2F8D1A9525A.jpeg)

Resource No. 88 (1492E367-2F2C-449C-AB0C-9768E1392F5A.jpeg)	

Survey Date:	12/29/2022	
Resource No:	**89 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	5115 PARRY AVE, 32.791946000000003/ -96.754900000000006273	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	Minimal Traditional	
Construction Date:	1923 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Mt. Auburn/ Santa Fe, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Community Planning & Development, Ethnic Heritage, Local level of significance	
Alterations/Additions:	All windows replaced	
Integrity Notes:	Alterations likely within period of significance	
Effect:	None	

Resource No. 89 (70D6EA2A-7BCE-40CA-95F3-BD128967AB41.jpeg)

Resource No. 89 (DF46B0EB-24FA-447B-84CA-417F7C659D88.jpeg)	

Survey Date:	12/29/2022	
Resource No:	**90 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	5119 PARRY AVE, 32.792059000000002/ -96.754839000000004272	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1926 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Lacks integrity	
NR District, Status:	Mt. Auburn/ Santa Fe, Noncontributing	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	Exterior wall materials replaced, Fenestration pattern altered, Porch altered	
Integrity Notes:		
Effect:	None	

Resource No. 90 (A9D8B8EC-F5A2-498F-A123-25B5DB3CC92B.jpeg)

Resource No. 90 (568709D7-16B5-4AF0-9C39-71E3863A8F00.jpeg)	

Survey Date:	12/29/2022	
Resource No:	**91A (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	5114 PARRY AVE, 32.791654000000001/ -96.754616999999996294	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	Minimal Traditional	
Construction Date:	1950 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	I-30 East Corridor Project (HNTB, Sept. 2022, Resource #67) (Not eligible)	
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Mt. Auburn/ Santa Fe, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Community Planning & Development, Ethnic Heritage, Local level of significance	
Alterations/Additions:	Windows replaced, Door replaced	
Integrity Notes:		
Effect:	None	

Resource No. 91A	***See photos on following pages.***

Survey Date:	01/26/2022
Resource No:	91A (HHM) [67 (HNTB)]
Project Location:	Dallas
Project Name and CSJ:	I-30 East Corridor Project; 0009-11-252
Address, Lat/Long:	5114 Parry Avenue; 32.791619, -96.754611
Function/Sub-function:	Residence
Construction Date:	1950
NRHP Eligibility:	See HHM 2023 survey form (contributing to Mt. Auburn/Santa Fe Historic District) (Not Eligible per HNTB)
Integrity/Comments:	See HHM survey form; Retains sufficient integrity for district threshold per Table G-2 in Appendix G (HHM). Per HNTB: Resource 91A is a one-story house standing on a concrete slab foundation. The house facesnorthwest and is clad in non-historic vinyl clapboards. The house has a hipped roof clad in non-historic asphalt shingles. A projected front-facing gable roof is located on the west sideof the main elevation. The gable projection has an open gable wall with a gable vent. The house is fenestrated by two non-historic 6/6 vinyl double-sash windows, on under the projected gable and one on the east side of the elevation, and a non-historic vinyl door covered by a windowed storm door. The main elevation is accessed from a concrete stoop covered by a projected shed roof supported by a single non-historic wood post. The stoop has concert streps and a non-historic wood rail. The southeast elevation has three non-historic 6/6 vinyl double-sash windows. The northeast elevation has two of the same 6/6 windows and one smaller non-historic 2/2 vinyl double-sash windows.A non-historic hipped roof shed is located directly southeast of the house. The shed has a pair of double doors and is clad in vinyl clapboards. Resource 91A retains integrity in the aspects of location and setting only. The property stands in its original location within a residential setting. The replacement of the original door and windows and changes to historic-age materials including non-historic alterations to the porch have reduced integrity in the aspects of design, materials, and workmanship. Without the ability to convey significance in the aspect of design, the building no longer evokes a sense ofa residence in the early-twentieth century. Due to the design changes, Resource 91A no longer possesses a direct link to the past and does not retain integrity in the aspect of association. Research did not reveal an association between Resource 91A and any events or people thathave made significant contributions to history in Dallas. Therefore, the property is recommended not eligible under Criterion A or B. The property was evaluated under Criterion C and is recommended not eligible. Although it retains some aspects of integrity, changes to historic-age materials inhibit its ability to convey significance of a particular era.

HNTB Draft for TAC September 2022

Resource 91A (HHM) [67 (HNTB)]: view of façade (northwest elevation)

HNTB Draft

Resource 91A (HHM) [67 (HNTB)]: oblique view of façade and northeast elevation

HNTB Draft

Survey Date:	1/13/2023	
Resource No:	**91B (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	5114 PARRY AVE, 32.791586000000002/ -96.75444699999999957	
Function/ Subfunction:	Residential	Garage
Form:	Rectangular	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1950 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Mt. Auburn/ Santa Fe, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Community Planning & Development, Ethnic Heritage, Local level of significance	
Alterations/Additions:		
Integrity Notes:	Visibility limited	
Effect:	None	

Resource No. 91B (5114 Parry B.jpg)

Survey Date:	12/29/2022	
Resource No:	**92 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	5203 PARRY AVE, 32.792245999999999/ -96.75461271	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1922 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Lacks integrity	
NR District, Status:	Mt. Auburn/ Santa Fe, Noncontributing	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	Exterior wall materials replaced, Porch altered	
Integrity Notes:		
Effect:	None	

Resource No. 92 (C4D567ED-6BA8-4CFF-95C7-821297B9DDF5.jpeg)

Resource No. 92 (47557FEF-489E-446B-966A-E31D6FA34677.jpeg)	

Survey Date:	12/29/2022	
Resource No:	**93 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	5202 PARRY AVE, 32.791929000000003/ -96.754205999999996276	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1926 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Lacks integrity	
NR District, Status:	Mt. Auburn/ Santa Fe, Noncontributing	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	All windows replaced, Exterior wall materials replaced, Fenestration pattern altered, Porch altered	Dormer added
Integrity Notes:		
Effect:	None	

Resource No. 93 (864188F9-B653-4378-8034-5C6C3AA534D9.jpeg)

Resource No. 93 (7D8B6A76-06BA-4699-B4E9-D6BD8CBB6035.jpeg)	

Survey Date:	12/29/2022	
Resource No:	**94 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	5212 PARRY AVE, 32.792223999999997/ -96.753900000000002277	
Function/ Subfunction:	Residential	Duplex house
Form:	Bungalow	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1922 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Mt. Auburn/ Santa Fe, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Community Planning & Development, Ethnic Heritage, Local level of significance	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 94 (2E7ACDB5-A989-443B-8C03-8CB708F139E3.jpeg)

Resource No. 94 (B61980E9-E30C-438A-856B-246BEC49E44B.jpeg)	

Survey Date:	12/29/2022	
Resource No:	**95 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	5410 PHILIP AVE, 32.792707999999998/ -96.749815999999996278	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1924 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Mt. Auburn/ Santa Fe, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Community Planning & Development, Ethnic Heritage, Local level of significance	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 95 (CE6EC9DB-4E5C-4084-9B01-C09FAC141B56.jpeg)

Resource No. 95 (5C9A1C6C-8B32-490B-AD64-06412D757F5E.jpeg)	

Survey Date:	12/29/2022	
Resource No:	**96 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	5401 EAST GRAND AVE, 32.792166000000002/ -96.749491000000006409	
Function/ Subfunction:	Commercial	Store
Form:	One-part commercial block	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1935 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	I-30 East Corridor Project (HNTB, Sept. 2022, Resource #45) (Not eligible)	
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Mt. Auburn/ Santa Fe, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Community Planning & Development, Ethnic Heritage, Local level of significance	
Alterations/Additions:	Windows partially enclosed, Storefront replaced	
Integrity Notes:		
Effect:	None	

Resource No. 96	***See photos on following pages.***

Project Location:	Dallas
Resource No:	96 (HHM) [45 (HNTB)]
Project Name and CSJ:	I-30 East Corridor Project; 0009-11-252
Address, Lat/Long:	5401 East Grand Avenue; 32.791997, -96.749517
Function/Sub-function:	Commercial
Construction Date:	1935
NRHP Eligibility:	Not Eligible
Integrity/Comments:	Resource 96 is a one-story building with a flat roof. The main elevation faces southeast and is clad in non-historic stucco. Non-historic metal fixed windows and a non-historic double-door fenestrate the main elevation. Above the openings are panels of rough finished stucco and a low flat parapet roof. A band of stone masonry lines the ground along the main elevation. Thesouthwest elevation is clad in historic-age running bond bricks and has a non-historic wood door covered by a metal storm door on its north side. The low parapet wall continues along the side elevation. The northeast elevation is flush with the neighboring property. The rear elevation is clad in historic-age five course common bond brick which is sporadically covered in non-historic stucco. A non-historic wood door accesses the rear elevation. Resource 96 retains integrity in the aspects of location and setting only. The property stands in itsoriginal location within a commercial setting. The changes to historic-age fenestration and alterations to cladding materials have reduced integrity in the aspects of design, materials, and workmanship. Without the ability to convey significance in the aspect of design, the building no longer evokes a sense of a residence in the mid-twentieth century. Due to the design changes, Resource 96 no longer possesses a direct link to the past and does not retain integrity in the aspect of association. Research did not reveal an association between Resource 96 and any events or people that have made significant contributions to history in Dallas. Therefore, the property is recommended not eligible under Criterion A or B. The property was evaluated under Criterion C and is recommended not eligible. Although it retains some aspects of integrity, the construction of a non-historic addition and changes to historic-age materials inhibit its ability to convey significance of a particular era.

HNTB Draft - Shortened Report 2022

Resource 96 (HHM) [45 (HNTB)]: view of façade (southeast elevation)

HNTB Draft

Resource 96 (HHM) [45 (HNTB)]: oblique view of façade and southwest elvevation

HNTB Draft

Survey Date:	12/29/2022	
Resource No:	**97 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	5412 PHILIP AVE, 32.792797/ -96.749690999999999279	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1916 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Lacks integrity	
NR District, Status:	Mt. Auburn/ Santa Fe, Noncontributing	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	All windows replaced, Exterior wall materials replaced, Door replaced	
Integrity Notes:		
Effect:	None	

Resource No. 97 (30B878A1-20FD-4662-BB3D-875C54F89462.jpeg)

Resource No. 97 (76EEC491-0663-4146-BC10-1F1911A13953.jpeg)	

Survey Date:	12/29/2022	
Resource No:	**98 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	0 EAST GRAND AVE, 32.792312000000003/ -96.749334000000005410	
Function/ Subfunction:	Commercial	Store
Form:	Two-part commercial block	
Stylistic Influence(s):	American commercial	
Construction Date:	1931 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	I-30 East Corridor Project (HNTB, Sept. 2022, Resource #46) (Not eligible)	
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Mt. Auburn/ Santa Fe, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Community Planning & Development, Ethnic Heritage, Local level of significance	
Alterations/Additions:	Windows missing, Storefronts boarded	
Integrity Notes:		
Effect:	None	

Resource No. 98	***See photos on following pages.***

Project Location:	Dallas
Resource No:	98 (HHM) [46 (HNTB)]
Project Name and CSJ:	I-30 East Corridor Project; 0009-11-252
Address, Lat/Long:	5411 East Grand Avenue; 32.792228, -96.749295
Function/Sub-function:	Commercial
Construction Date:	1931
NRHP Eligibility:	See HHM 2023 survey form (contributing to Mt. Auburn/Santa Fe Historic District) (Not Eligible per HNTB)
Integrity/Comments:	Retains sufficient integrity for district threshold per Table G-2 in Appendix G (HHM). Per HNTB: Resource 98 is a two-story building with a flat roof. The main elevation faces southeast and is clad in historic-age running bond brick. At the time of this survey, the ground floor openings were removed and were covered with wood fiber boards. A non-historic wood door on the east side of the elevation was built into the boards. The second-story windows were also removed. A non-historic wood panel covered the brick on the west side elevation between the ground floorand second story. A historic-age brick flat parapet wall runs along the main elevation. Historic-age decorative brickwork slightly projects along the parapet wall. The northeast elevation has no openings and is clad in historic-age three course common bond brick. The southwest elevation is clad in the same brick and is flush with the neighboring property. The flat parapet wall continues along the entirety of both side elevations. Resource 98 retains integrity in the aspects of location and setting only. The property stands in its original location within a commercial setting. Alterations to cladding materials and the removal of all historic-age windows and doors have reduced integrity in the aspects of design, materials, and workmanship. Without the ability to convey significance in the aspect of design, the building no longer evokes a sense of a residence in the mid-twentieth century. Due to the material changes, Resource 98 no longer possesses a direct link to the past and does not retain integrity in the aspect of association. Research did not reveal an association between Resource 98 and any events or people that have made significant contributions to history in Dallas. Therefore, the property is recommended not eligible under Criterion A or B. The property was evaluated under Criterion C and is recommended not eligible. Although it retains some aspects of integrity, the removal of historic-age materials inhibits its ability to convey significance of a particular era.

HNTB Draft HRER September 2022

Resource 98 (HHM) [46 (HNTB)]: view of commercial block fronting East Grand Avenue, facing west

HNTB Draft

Resource 98 (HHM) [46 (HNTB)]: oblique view of façade and northeast elevation

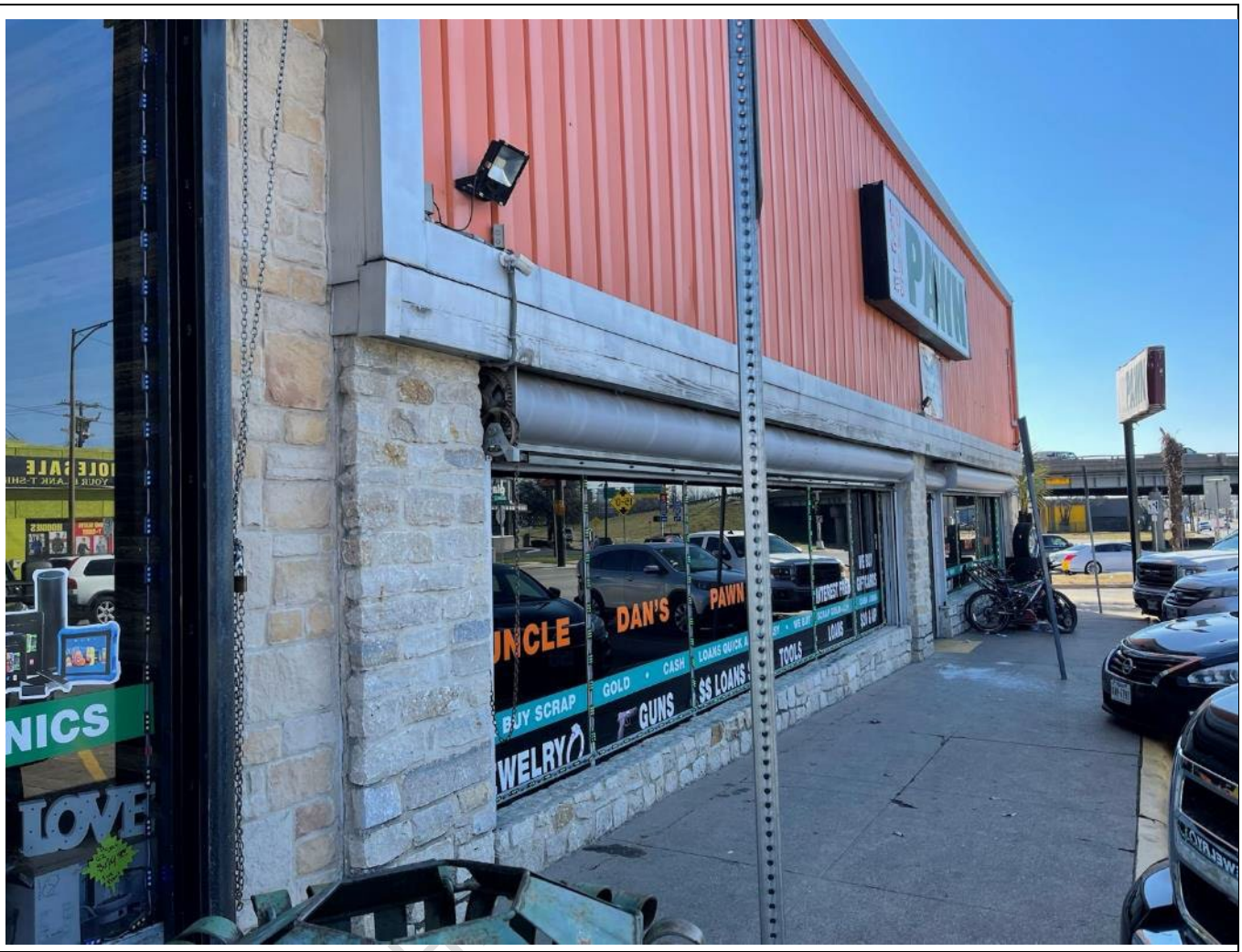
HNTB Draft

Survey Date:	1/25/2022 (HNTB)	
Resource No:	**99 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	5400 EAST GRAND AVE, 32.791811000000003/ -96.749116000000001411	
Function/ Subfunction:	Commercial	Store
Form:	One-part commercial block	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1932 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	I-30 East Corridor Project (HNTB, Sept. 2022, Resource #47) (Not eligible)	
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks integrity, Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	Exterior wall materials replaced, Storefronts replaced	
Integrity Notes:		
Effect:	None	

Resource No. 99	***See photos on following pages.***

Survey Date:	01/25/2022
Resource No:	99 (HHM) [47 (HNTB)]
Project Location:	Dallas
Project Name and CSJ:	I-30 East Corridor Project; 0009-11-252
Address, Lat/Long:	5400 East Grand Avenue; 32.791779, -96.749133
Function/Sub-function:	Commercial
Construction Date:	1932
NRHP Eligibility:	Not Eligible
Integrity/Comments:	Resource 99 is a one-story, five-sided building with a flat roof. The main elevation faces northwest and clad in stone masonry and features and prominent non-historic metal parapet wall. Two large bays of non-historic metal windows and a non-historic set of metal double doors with large windows fenestrate the main elevation. The doors are recessed in the center of the main elevation. Non-historic security grilles are located above the doors and the windowbays. The southwest elevation has one non-historic metal door on its west side witha metal security grille. A non-historic metal parapet roof covers half of the main and southwestelevations. It is clad in vertically aligned standing seem metal plating and metal parapet caps. The south-facing and rear elevations are half clad in stone masonry and stucco. A nonhistoric metal fence stands flush with the south- elevation and obscures the rear elevation. The northeast- elevation is flush with the neighboring property. Resource 99 retains integrity in the aspects of location and setting only. The building stands in itsoriginal location in a commercial section of Dallas. Changes to the building's materials and fenestration have reduced integrity in the aspects of design, materials, and workmanship. Without the ability to convey significance in the aspect of design, the building no longer evokes asense of commercial life in the mid-twentieth century. Due to the design changes, Resource 99 no longer possesses a direct link to the past and does not retain integrity in the aspect of association. Resource 99 does not exhibit characteristics of any academic type or style nor does its designembody a particular time period. Changes to the building's historic-age materials and fenestrations have reduced the property's integrity and ability to convey significance. Therefore, Resource 99 is recommended not eligible under Criterion C for architecture. Research did not reveal an association between Resource 99 and any events or people that have made significant contributions to history in Dallas. Therefore, the property is recommended not eligible under Criterion A or B.

HNTB Draft HRSR September 2022



Resource 99 (HHM) [47 (HNTB)]: view of façade (northwest elevation)

HNTB Draft

Survey Date:	1/25/2022 (HNTB)	
Resource No:	**100 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	5408 EAST GRAND AVE, 32.791932000000003/ -96.748891412	
Function/ Subfunction:	Commercial	Store
Form:	Two-part commercial block	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1951 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	I-30 East Corridor Project (HNTB, Sept. 2022, Resource #48) (Not eligible)	
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance, Lacks integrity	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	Exterior wall materials replaced	
Integrity Notes:		
Effect:	None	

Resource No. 100	***See photos on following pages.***

Survey Date:	01/25/2022
Resource No:	100 (HHM) [48 (HNTB)]
Project Location:	Dallas
Project Name and CSJ:	I-30 East Corridor Project; 0009-11-252
Address, Lat/Long:	5408 East Grand Avenue; 32.791931, -96. 748973
Function/Sub-function:	Commercial
Construction Date:	1951
NRHP Eligibility:	Not Eligible
Integrity/Comments:	Resource 100 is a two-story building with a flat roof. The main elevation faces northwest and is clad in applied stone masonry and stucco. Two sets of non-historic metal double doors flankedby metal windows and non-historic window walls of metal windows fenestrate the main elevation. A long bay of non-historic vinyl casement windows stretches along the second story of the elevation. Non-historic metal grilles are located over the ground floor openings. A non- historic metal canopy roof is located above the openings and security grilles. A non-historic flatparapet roof of stone masonry and stucco lines the roof along the main elevation. The southwest elevation is flush with the neighboring property and is clad in historic-age common bond brick. The northeast elevation has no openings and is clad in appliedstone masonry and stucco. The rear elevation is clad in applied stone masonry and stucco. The rear ground floor has one non-historic metal door and a garage bay with a metal garage door. The rear second story has vent openings and non-historic 1/1 metal double-sash windows covered with metal bars. A metal parapet cap lines all four sides of the building. Resource 100 retains integrity in the aspects of location and setting only. The building stands in itsoriginal location in a commercial section of Dallas. Changes to the building's materials and fenestration have reduced integrity in the aspects of design, materials, and workmanship. Without the ability to convey significance in the aspect of design, the building no longer evokes asense of commercial life in the mid-twentieth century. Due to the design changes, Resource 100 no longer possesses a direct link to the past and does not retain integrity in the aspect of association. Resource 100 does not exhibit characteristics of any academic type or style nor does its designembody a particular time period. Changes to the building's historic-age materials and fenestrations have reduced the property's integrity and ability to convey significance. Therefore, Resource 100 is recommended not eligible under Criterion C for architecture. Research did not reveal an association between Resource 100 and any events or people that have made significant contributions to history in Dallas. Therefore, the property is recommended not eligible under Criterion A or B.

HNTB Draft HRSR September 2022

Resource 100 (HHM) [48 (HNTB)]: view of commercial block fronting East Grand Avenue including Resource 50, facing south

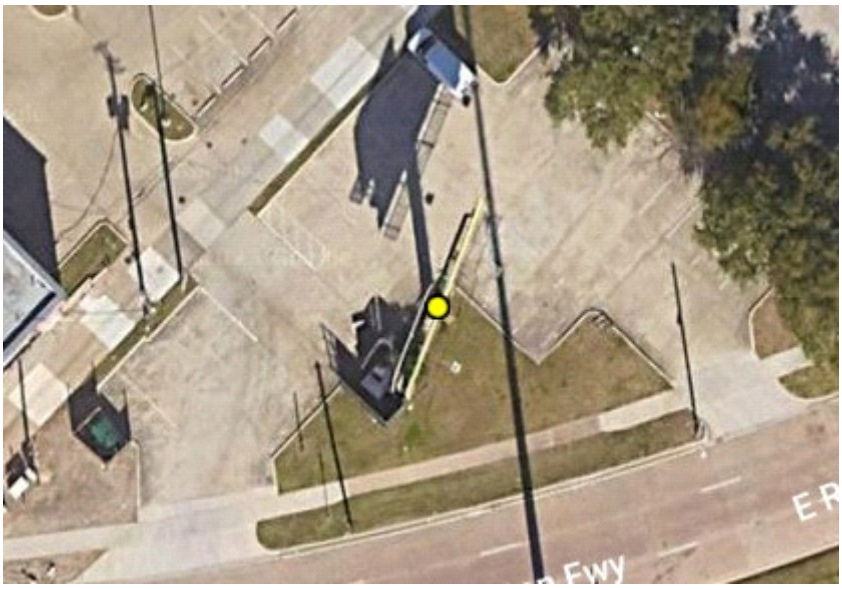
HNTB Draft

Resource 100 (HHM) [48 (HNTB)]: oblique view of façade and northeast elevation, facing southwest

HNTB Draft

Survey Date:	1/13/2023	
Resource No:	**101 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	5417 E R. L. THORNTON FWY, 32.791853000000003/ -96.74841100000000452	
Function/ Subfunction:	Commercial	Billboard
Form:		
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	0 (Desktop survey)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 101 (5417 ERLT.jpg)

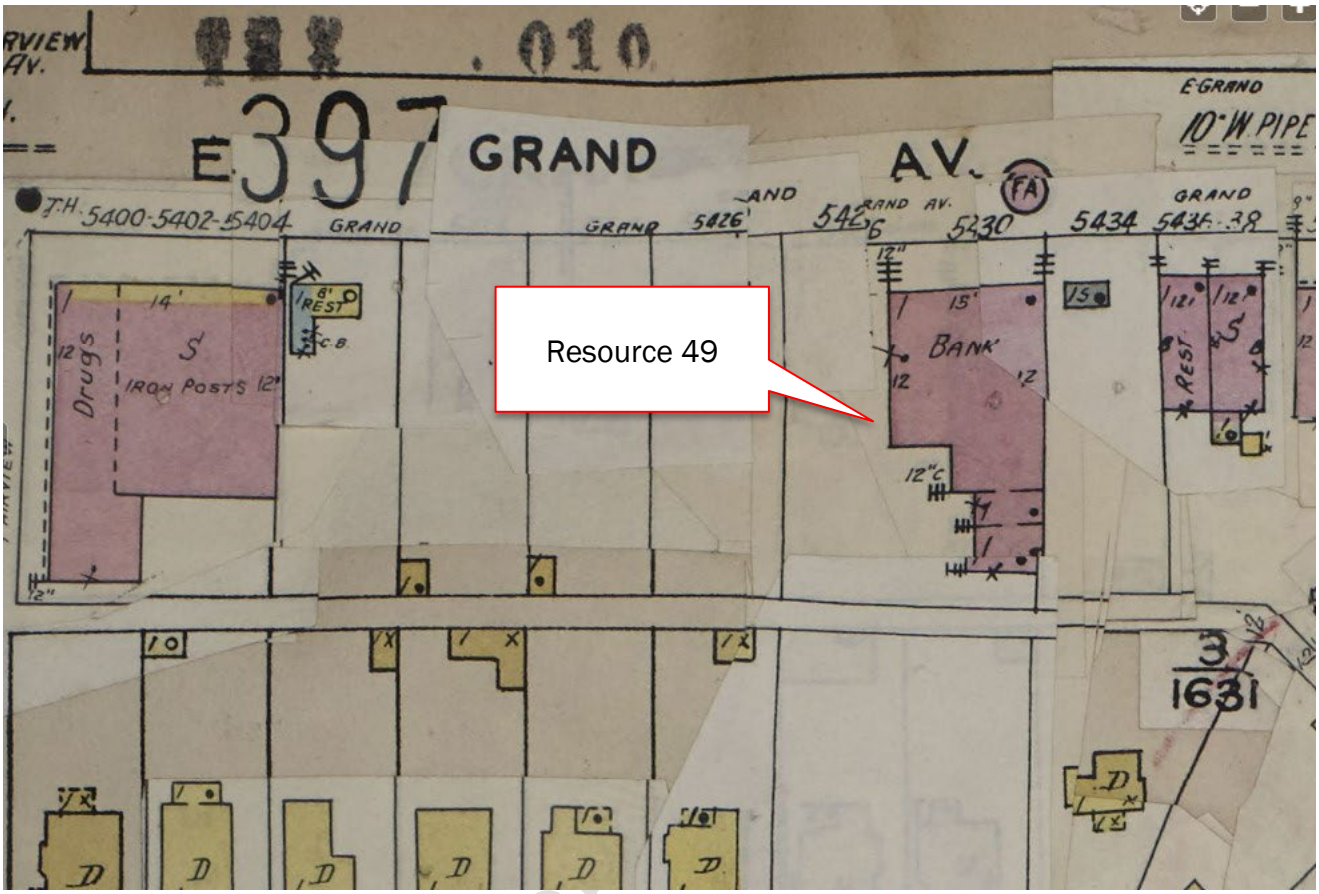


Survey Date:	12/29/2022	
Resource No:	**102 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	5421 E R. L. THORNTON FWY, 32.792361999999997/ -96.748441413	
Function/ Subfunction:	Commercial	Bank
Form:	Enframed window wall	
Stylistic Influence(s):	Art Deco	
Construction Date:	1939 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	TxDOT Historic Resources Aggregator (Survey date: 1/1/2018), I-30 East Corridor Project (HNTB, Sept. 2022, Resource #49) (Eligible for Individual Listing in NRHP/ Grand Avenue State Bank, Eligible)	
NRHP Eligibility:	Individually eligible for NRHP, Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Mt. Auburn/ Santa Fe, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Community Planning & Development, Ethnic Heritage, Local level of significance	
Alterations/Additions:	Some windows replaced	
Integrity Notes:		
Effect:	None	

Resource No. 102	***See photos on following pages.***

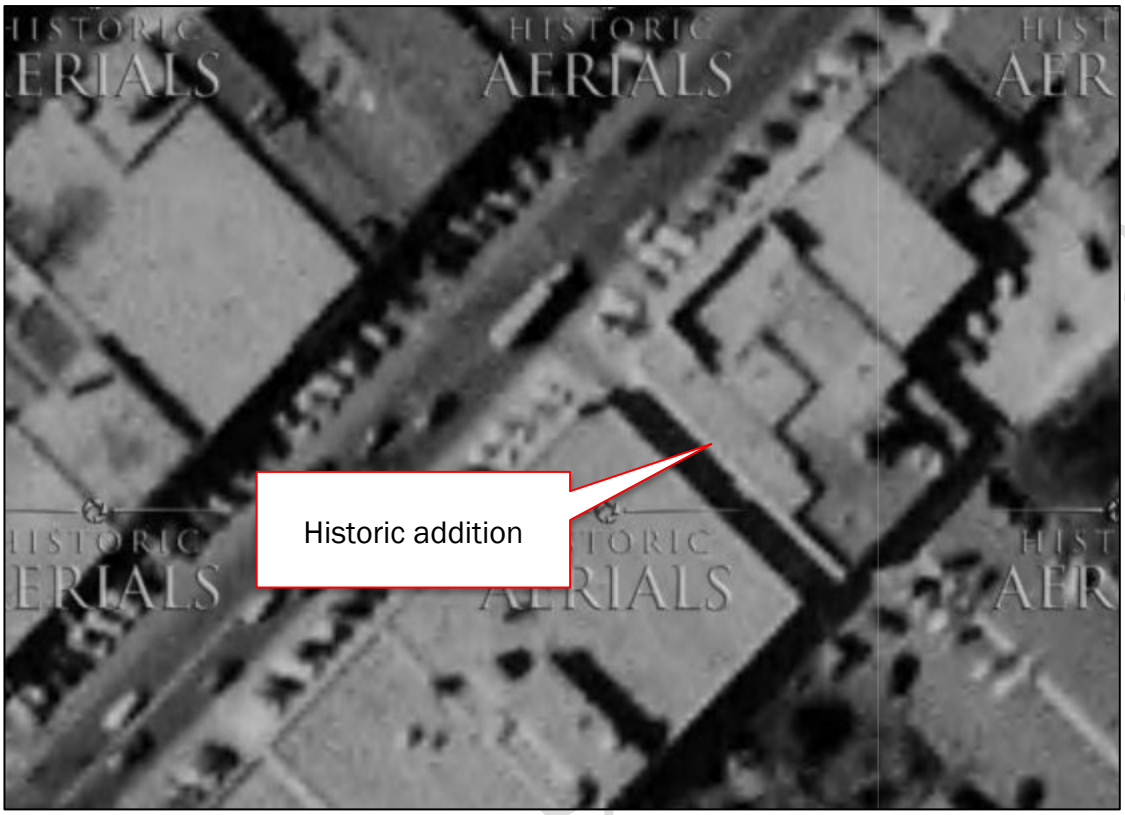
Survey Date:	01/25/2022
Resource No:	102 (HHM) [49 (HNTB)]
Project Location:	Dallas
Project Name and CSJ:	I-30 East Corridor Project; 0009-11-252
Address, Lat/Long:	5421 E R L THORNTON FWY [HNTB address 5430 East Grand Avenue]; 32.792329, -96.748468
Function/Sub-function:	Commercial
Construction Date:	c. 1935
NRHP Eligibility:	Eligible; See HHM 2023 survey form (also contributing to Mt. Auburn/Santa Fe Historic District)
Integrity/Comments:	Resource 102 is a two-story, Art Deco style building that was determined eligible under Criterion C for Architecture in the 2018 Dallas District ADA and Sidewalk Improvements HRSR. Resource 102 is visible on a 1950 Sanborn map in which it is labeled as a "Bank." The footprint as shown in the 1950 Sanborn along with historic aerial images from 1952 and 1956 show that the southwest and southeast elevations are historic-age additions. The building has a flat roof with simple coping. The main elevation faces northwest and is clad in concrete blocks. Three two-story window bays are recessed in the center of the main elevation. Each bay has a historic-age fixed prairie style window below a large clay tile with a decorative relief. The center bay has a non-historic glass and metal door flanked by metal side lights. The outside bays have non-historic metal windows. A non-historic windowed side door is on the south side of the main elevation. A decorative concrete band lines the top of the main elevation under a metal parapet cap. The southwest elevation features non-historic metal fixed windows on the ground floorand 2/2 metal double-hung sash windows on the second floor. The windows are covered with metal bars, and the elevation is clad in five course common bond brick. The northeast elevation is flush with the neighboring property. The rear elevation features a large bay opening topped with a non-historic metal framed porte-cochère. The rear elevation is clad in historic-age five course common bond brick. The 2018 HRSR stated, "with the exception of new building signage and a few small sections of flaking exterior cladding materials, the building retains a high level of integrity of materials, design, workmanship, feeling, association, location, and setting." 2022 Field survey confirmed that the resource retains all aspects of integrity. Therefore,Resource 102 is recommended eligible under Criterion C for architecture.

HNTB Draft HRSR September 2022

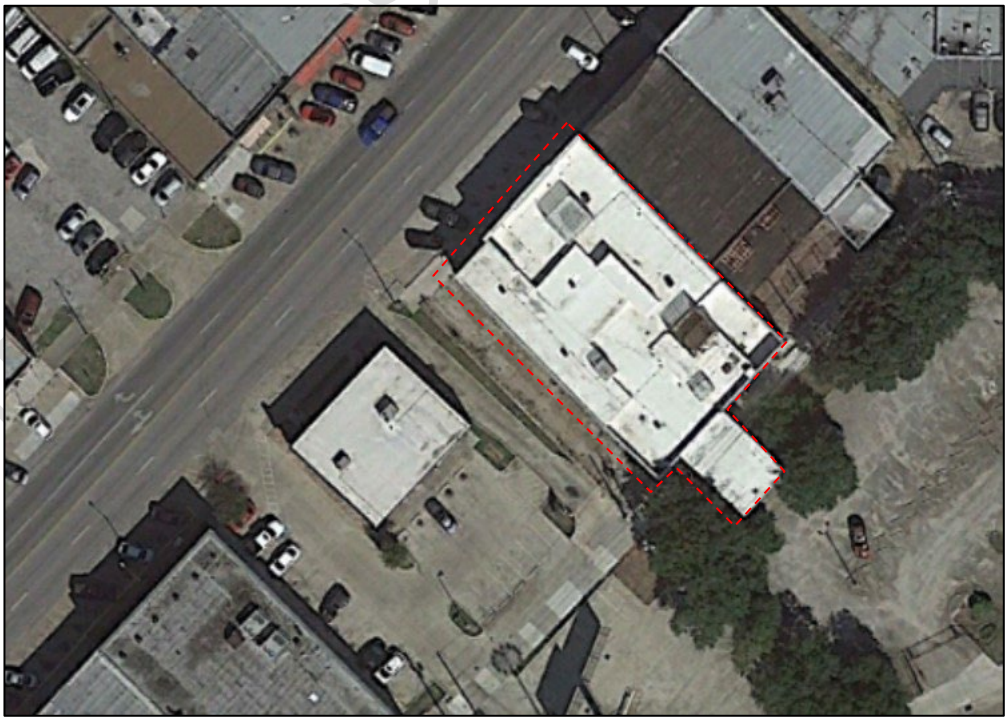


Resource 102 (HHM) [49 (HNTB)]: 1950 reissue of 1922 Sanborn Map vol. 3, sheet 399H showing Resource 49
Source: Library of Congress

HNTB Draft HRS



Resource 102 (HHM) [49 (HNTB)]: 1952 aerial photograph
Source: www.historicaerials.com



Resource 102 (HHM) [49 (HNTB)]: 2021 aerial photograph showing non-historic rear porte-cochère

Source: Google Earth Pro

Resource 102 (HHM) [49 (HNTB)]: oblique view of façade and southwest elevation, facing north

HNTB Draft

Resource 102 (HHM) [49 (HNTB)]: view of façade (northwest elevation)

HNTB Draft

Resource 102 (HHM) [49 (HNTB)]: view of rear elevation showing rear opening and non-historic porte-cochère

HNTB Draft

Survey Date:	1/26/2022 (HNTB)	
Resource No:	**103 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	5607 E R. L. THORNTON FWY, 32.792278000000003/ -96.746133414	
Function/ Subfunction:	Commercial	Gas station
Form:	Box with Canopy	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1963 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	Bankhead Highway (HHM, 2013), I-30 East Corridor Project (HNTB, Sept. 2022, Resource #66) (Not Individually Eligible, Not eligible)	
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks integrity	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	Storefronts replaced, Canopy replaced	
Integrity Notes:		
Effect:	None	

Resource No. 103	***See photos on following pages.***

Survey Date:	01/26/2022
Resource No:	103 (HHM) [66 (HNTB)]
Project Location:	Dallas
Project Name and CSJ:	I-30 East Corridor Project; 0009-11-252
Address, Lat/Long:	5607 E.R.L. Thornton Freeway; 32.792216, -96.746062
Function/Sub-function:	Commercial/Gas Station
Construction Date:	1963
NRHP Eligibility:	Not Eligible
Integrity/Comments:	Based on descriptions in the TxDOT historical studies report *A Field Guide to Gas Stations in Texas*, the historic-age core of Resource 103 appears to be a Shell gas station following the oblong bow with canopy form. During the non-historic period, a non-historic addition was constructed on the east side of the building. The buildings openings have been replaced with non-historic doors and windows. Non-historic stucco clads the entirety of the building. The historic-age canopy has also been replaced. Resource 66 does continue to operate as a Shell gas station. Resource 103 retains integrity in the aspect of location and setting. The building stands on its original location and is surrounded by commercial development. The construction of a non-historic addition and changes to the exterior of Resource 103 have reduced integrity in the aspects of materials, design, and workmanship. The application of non-historic cladding materials and the replacement of historic-age openings has severely diminished its integrity and ability to convey significance. Without its historic design intact, Resource 66 does not evoke a sense of mid-twentieth century commercial life nor does it possess a direct link to its past as a 1940s Shell gas station. Therefore, Resource 103 does not possess integrity in the aspect of feeling or association. Research did not reveal that Resource 103 has any associations with events or people that made significant contributions to history. Therefore, the resource is recommended not eligible under Criteria A or B. The building was evaluated under Criterion C in the area of architecture and is recommended not eligible due to its lack of integrity. Design changes to Resource 103 including the replacement of its historic-age semi-detached canopy have reduced integrity and diminished the property's ability to convey significance.

HNTB Draft HRSR September 2022

Resource 103 (HHM) [66 (HNTB)]: oblique view of façade (south elevation) and west elevation

HNTB Draft

Resource 103 (HHM) [66 (HNTB)]: oblique view of façade and east elevation

HNTB Draft

Survey Date:	12/29/2022	
Resource No:	**104A (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	2810 SAMUELL BLVD, 32.792690999999998/ -96.745166999999995296	
Function/ Subfunction:	Commercial	Theater
Form:	Vault	
Stylistic Influence(s):	Art Deco	
Construction Date:	1945 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Individually eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:		
Criteria, Notes:	Criterion C, Architecture, Local level of significance	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 104A (930C7325-63E1-4B8C-B783-4F38E9ECEE42.jpeg)

Resource No. 104A (BB8EE9A1-4881-4CD0-8036-DB736C9BFB74.jpeg)	

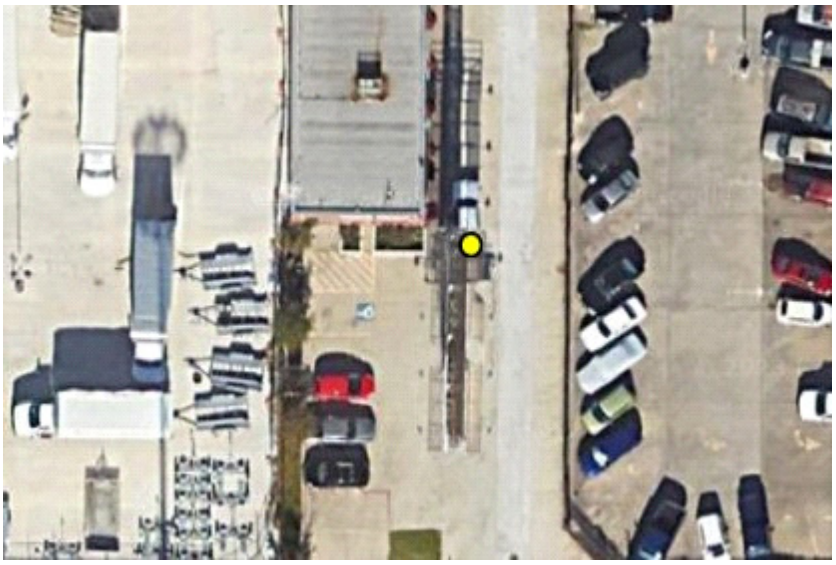
Survey Date:	12/29/2022	
Resource No:	**104B (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	2810 SAMUELL BLVD, 32.792720000000003/ -96.745812999999998295	
Function/ Subfunction:	Commercial	Store
Form:	Commercial strip	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1945 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks integrity	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	All windows replaced, Exterior wall materials covered/slip cover, Storefront altered/enclosed	
Integrity Notes:		
Effect:	None	

Resource No. 104B (3D02108D-7B03-4507-B222-5362A3B19575.jpeg)

Resource No. 104B (A395E72C-5A55-4959-A9F1-C23C7A92F217.jpeg)	

Survey Date:	1/13/2023	
Resource No:	**105 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	5635 E R. L. THORNTON FWY, 32.792250000000003/ -96.74494199999999545	
Function/ Subfunction:	Commercial	Billboard
Form:		
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	0 (Desktop survey)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 105 (5635 ERLT.jpg)



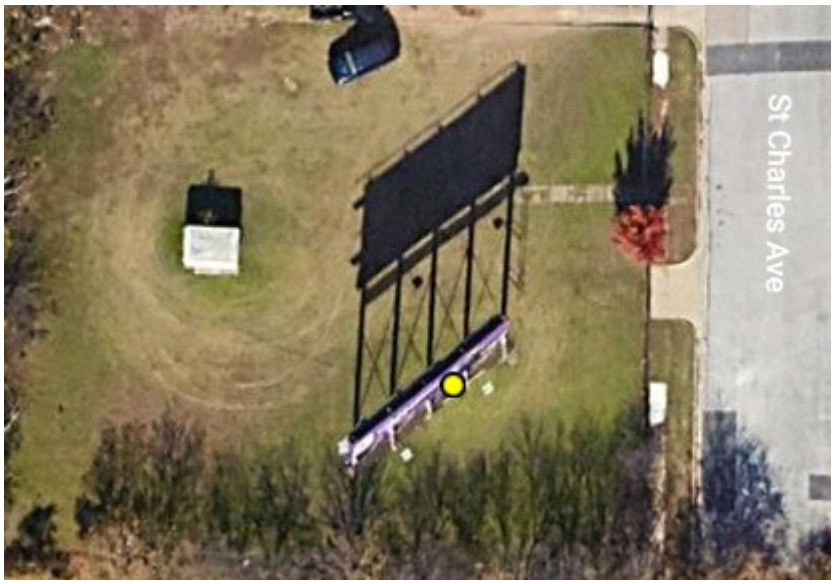
Survey Date:	12/29/2022	
Resource No:	**106 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	5437 ST CHARLES AVE, 32.792516999999997/ -96.743358999999998297	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	Tudor Revival	
Construction Date:	1930 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks sufficient significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 106 (BA5CFBA1-FF27-4610-AE1A-0248C39DE327.jpeg)

Resource No. 106 (237B862E-A95A-4CD2-9B3D-C463DEF25766.jpeg)	

Survey Date:	1/13/2023	
Resource No:	**107 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	5423 ST CHARLES AVE, 32.792198999999997/ -96.74327700000000641	
Function/ Subfunction:	Commercial	Billboard
Form:		
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	0 (Desktop survey)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 107 (5423 ERLT.jpg)



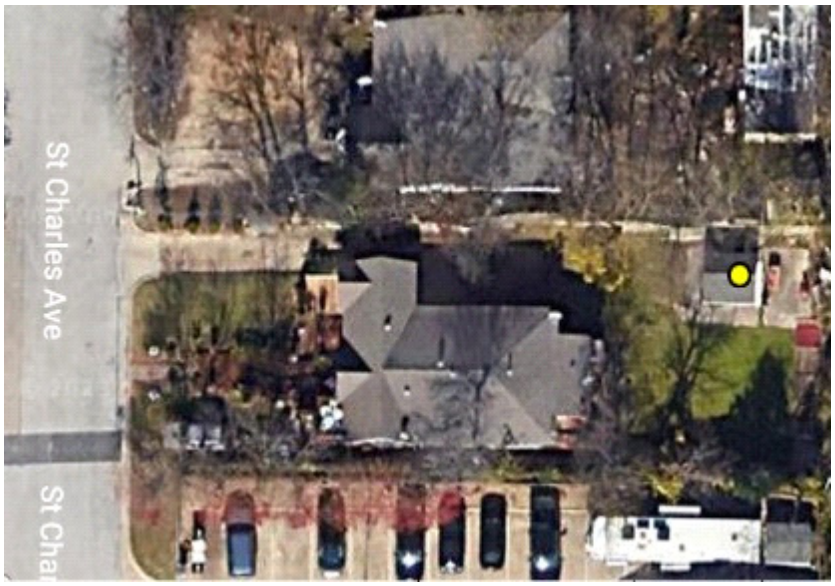
Survey Date:	12/29/2022	
Resource No:	**108A (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	5426 ST CHARLES AVE, 32.792462/ -96.742783000000003298	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1936 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks integrity	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	All windows replaced, Exterior wall materials replaced	
Integrity Notes:		
Effect:	None	

Resource No. 108A (9A16A822-3369-4B2B-A066-C03C0D735D32.jpeg)

Resource No. 108A (B0D46282-AAFE-4A8F-877D-33562788BAC7.jpeg)	

Survey Date:	1/13/2023	
Resource No:	**108B (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	5426 ST CHARLES AVE, 32.792515000000002/ -96.74251800000000436	
Function/ Subfunction:	Residential	Garage
Form:	Rectangular	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1936 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks integrity	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	Associated house lacks integrity	
Integrity Notes:		
Effect:	None	

Resource No. 108B (5426 St Charles B.jpg)



Survey Date:	12/29/2022	
Resource No:	**109A (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3076 SAMUELL BLVD, 32.792712000000002/ -96.742153999999999299	
Function/ Subfunction:	Commercial	Motel
Form:	Linear	
Stylistic Influence(s):	Ranch Style	
Construction Date:	1948 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 109A (423444C8-A243-4F7C-8CA4-3F87BD4E8258.jpeg)

Resource No. 109A (A16AEA5A-0499-4D13-9B3F-C091885F396F.jpeg)	

Survey Date:	1/13/2023	
Resource No:	**109B (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3076 SAMUELL BLVD, 32.792620999999997/ -96.74215599999999435	
Function/ Subfunction:	Commercial	Motel
Form:	Linear	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1970 (In field estimate)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 109B

Survey Date:	1/13/2023	
Resource No:	**109C (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3076 SAMUELL BLVD, 32.7926/ -96.74232399999999634	
Function/ Subfunction:	Commercial	Motel outbuilding
Form:	Rectangular	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1948 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		
Integrity Notes:	Visibility limited	
Effect:	None	

Resource No. 109C (3076 Samuell C.jpg)

Survey Date:	12/29/2022	
Resource No:	**110 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	5426 SIBLEY AVE, 32.792349000000002/ -96.741591300	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1936 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	Doors replaced	
Integrity Notes:		
Effect:	None	

Resource No. 110 (A044B39A-6043-4056-9C08-AD11AADAA218.jpeg)

Resource No. 110 (7D593E72-9295-4238-96AB-DC8A988FA3F6.jpeg)	

Survey Date:	1/26/2022 (HNTB)	
Resource No:	**111 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	5416 SIBLEY AVE, 32.792197999999999/ -96.741538000000006415	
Function/ Subfunction:	Residential	Duplex house
Form:	Bungalow	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1940 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	I-30 East Corridor Project (HNTB, Sept. 2022, Resource #65) (Not eligible)	
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	Doors replaced, Windows replaced	
Integrity Notes:		
Effect:	None	

Resource No. 111	***See photos on following pages.***

Survey Date:	01/26/2022
Resource No:	111 (HHM) [65 (HNTB)]
Project Location:	Dallas
Project Name and CSJ:	I-30 East Corridor Project; 0009-11-252
Address, Lat/Long:	5416 Sibley Avenue; 32.792136, -96.741548
Function/Sub-function:	Residence
Construction Date:	1940
NRHP Eligibility:	Not Eligible
Integrity/Comments:	Resource 65 is a one-story residence standing on a concrete slab. The historic-age core of the residence has a side-gable roof clad in non-historic asphalt shingles. Exposed rafters are visible under the historic-age roofline along the main elevation. The main elevation faces west and is clad in wood clapboards. Two non-historic vinyl doors, a non-historic windowed storm door, and two non-historic 2/2 vinyl double-sash windows fenestrate the main elevation. The doors are accessed by a set of concrete steps covered by a projected front-facing gable. Non-historic metal rails have been installed along the front steps. The same non-historic vinyl double-sash windows are located on the side elevations. Historic aerial photography from 1958 shows the hipped-roof addition to the rear of the residence. During the non-historic period, a shed-roof addition was added to the rear of the building. Resource 65 retains integrity in the aspect of location only. The building stands in its original location. Historic-age residential development has been removed around the residence replaced by commercial development and the interstate reducing integrity in the aspect of setting. Changes to historic-age materials such as doors and windows and he construction of the non-historic addition has reduced integrity in the aspects of design, materials, and workmanship. Without the ability to convey significance in the aspect of design, the building no longer evokes a sense of residential life in the mid-twentieth century. Due to the design changes, Resource 65 no longer possesses a direct link to the past and does not retain integrity in the aspect of association. Resource 65 does not exhibit characteristics of any academic type or style nor does its design embody a particular time period. Changes to the building's historic-age form have reduced the property's integrity and ability to convey significance. Therefore, Resource 65 is recommended not eligible under Criterion C for architecture. Resource 65 does not appear to have an association with significant historical events or individuals important to development of Dallas, Texas. Therefore, Resource 65 is recommended not eligible for the NRHP under Criteria A or B.

HNTB Draft HRSP September 2022

Resource 111 (HHM) [65 (HNTB)]: view of façade (west elevation)

HNTB Draft

Resource 111 (HHM) [65 (HNTB)]: oblique view of façade and south elevation

HNTB Draft

Survey Date:	12/29/2022	
Resource No:	**112 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3122 SAMUELL BLVD, 32.792703000000003/ -96.740875000000003301	
Function/ Subfunction:	Commercial	Bar
Form:	Rectangular	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1952 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 112 (29F9CFC7-9BF8-4F00-A9D6-81379164D21E.jpeg)

Resource No. 112 (C43BB805-7F34-4911-ABDA-2EB521F99F01.jpeg)	

Survey Date:	12/29/2022	
Resource No:	**113 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	5423 OWENWOOD AVE, 32.792332000000002/ -96.740887999999998302	
Function/ Subfunction:	Residential	Single-family house
Form:	L-plan	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1946 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks integrity	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	All windows replaced, Exterior wall materials replaced, Porch altered, Doors replaced	
Integrity Notes:		
Effect:	None	

Resource No. 113 (9EF69AE1-8CCB-4EAD-ADB8-BD03F7FDA9EA.jpeg)	
Resource No. 113 (A850F3E7-79F7-4D64-B8E4-12FC77382E33.jpeg)	

Survey Date:	12/30/2022	
Resource No:	**114 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3202 SAMUELL BLVD, 32.792724999999997/ -96.740298999999993205	
Function/ Subfunction:	Commercial	Store
Form:	Commercial strip	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1955 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 114 (D047CF7F-47AF-4B1C-89EB-49FEF7B7B500.jpeg)

Resource No. 114 (32F1155C-2AFC-4BF3-B2A3-43A1CB5A9DD5.jpeg)	
Resource No. 114 (CBAB8191-3680-42AC-AE12-7C720B56A715.jpeg)	

Survey Date:	1/26/2022 (HNTB)	
Resource No:	**115 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3231 MERRIFIELD AVE, 32.792468/ -96.739345999999998417	
Function/ Subfunction:	Commercial	Auto repair
Form:	Commercial box	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1972 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	I-30 East Corridor Project (HNTB, Sept. 2022, Resource #64) (Not eligible)	
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance, Lacks integrity	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	Doors replaced, Awning replaced	Side addition
Integrity Notes:		
Effect:	None	

Resource No. 115	***See photos on following pages.***

Survey Date:	01/26/2022
Resource No:	115 (HHM) [64 (HNTB)]
Project Location:	Dallas
Project Name and CSJ:	I-30 East Corridor Project; 0009-11-252
Address, Lat/Long:	3231 Merrifield Avenue; 32.792422, -96.739419
Function/Sub-function:	Commercial/Automotive Repair
Construction Date:	1972
NRHP Eligibility:	Not Eligible
Integrity/Comments:	Resource 115 is a one-story building standing on a concrete slab. The main elevation faces south and is clad in historic-age common bond brick veneer. Two historic-age metal doors, two historic-age double-hung sash windows, and two garage bays with historic-age metal garage doors. The building is topped with a flat roof. Over the openings is a historic-age projected hipped roof clad in standing seam metal. During the non-historic period, a large concrete masonry unit garage addition was added to the west side of the building. The main elevation of the addition is clad in stand seam metal sheet and features a metal frame projection that support a parapet wall. The addition has a windowed door and three large garage bays with metal garage doors on the main elevation. The west elevation is clad in CMU and has three 1/1 vinyl double-sash windows. Resource 115 retains integrity in the aspects of location and setting only. The building stands inits original location in a commercial section of Dallas. The construction of the non-historic addition has reduced integrity in the aspects of design, materials, and workmanship. Without the ability to convey significance in the aspect ofdesign, the building no longer evokes a sense of commercial life in the mid-twentieth century. Due to the design changes, Resource 115 no longer possesses a direct link to the past and does not retain integrity in the aspect of association. Resource 115 does not exhibit characteristics of any academic type or style nor does its design embody a particular time period. Changes to the building's historic-age form have reduced the property's integrity and ability to convey significance. Therefore, Resource 115 is recommended not eligible under Criterion C for architecture. Resource 115 does not appear to have an association with significant historical events or individuals important to development of Dallas, Texas. Therefore, Resource 115 is recommended not eligible for the NRHP under Criteria A or B.

HNTB Draft HRSR Report NOV 2022

Resource 115 (HHM) [64 (HNTB)]: view of façade (southelevation)

HNTB Draft

Resource 115 (HHM) [64 (HNTB)]: view of non-historic addition on west elevation, facing northwest

HNTB Draft

Resource 115 (HHM) [64 (HNTB)]: oblique view of non-historic addition, facing northeast

HNTB Draft

Survey Date:	12/29/2022	
Resource No:	**116 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3234 SAMUELL BLVD, 32.792704999999998/ -96.739120999999997303	
Function/ Subfunction:	Commercial	Auto Sales/Service
Form:	Compound plan	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1946 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 116 (53025CCE-4AAA-4F72-8130-B331FC904EBC.jpeg)

Resource No. 116 (8A540286-0158-44D1-A4FB-7A86FE66CA3D.jpeg)	

Survey Date:	1/26/2022 (HNTB)	
Resource No:	**117 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3235 MERRIFIELD AVE, 32.792391000000002/ -96.739176416	
Function/ Subfunction:	Commercial	Auto repair
Form:	Commercial box	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1980 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	I-30 East Corridor Project (HNTB, Sept. 2022, Resource #87) (Not eligible)	
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	Door replaced, Awning replaced	
Integrity Notes:		
Effect:	None	

Resource No. 117	***See photos on following pages.***

Survey Date:	01/26/2022
Resource No:	117 (HHM) [87 (HNTB)]
Project Location:	Dallas
Project Name and CSJ:	I-30 East Corridor Project; 0009-11-252
Address, Lat/Long:	3235 Merrifield Avenue; 32.792371, -96.739177
Function/Sub-function:	Commercial
Construction Date:	1980
NRHP Eligibility:	Not Eligible
Integrity/Comments:	Resource 117 is a one-story automotive repair shop standing on a concrete slab foundation. The building faces south and is clad in concrete masonry unit along all its elevations. The building has a flat roof and a metal awning spanning the entire length of the main elevation. A non-historic metal door and pair of fixed windows with six lights each fenestrate the main elevation. A retractable wood post fence rests flush along the east side of the main elevation. The east elevation has four garage bays with metal bay doors. The west elevation has no openings. Resource 117 retains integrity in the aspects of location and setting. The building stands in its original location in a commercial section of Dallas. The replacement of the original door has reduced integrity in the aspects of design, materials, and workmanship. Without the ability to convey significance in the aspect of design, the building no longer evokes a sense of a residence in the early-twentieth century. Due to the design changes, Resource 117 no longer possesses a direct link to the past and does not retain integrity in the aspect of association. Resource 117 does not exhibit characteristics of any academic type or style. While it does retain integrity, its design is common among the survey area and was not found as significant. Therefore, Resource 117 is recommended not eligible under Criterion C for architecture.

HNTB Draft HRR Supplement 2022

Resource 117 (HHM) [87 (HNTB)]: view of façade (south elevation)

HNTB Draft

Resourve 117 (HHM) [87 (HNTB)]: view of façade (south elevation)

HNTB Draft

Survey Date:	12/29/2022	
Resource No:	**118 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3238 SAMUELL BLVD, 32.792760000000001/ -96.738883999999999304	
Function/ Subfunction:	Commercial	Store
Form:	Commercial strip	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1965 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance, Lacks integrity	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	Parapet removed/altered, Storefront altered, Doors replaced	
Integrity Notes:		
Effect:	None	

Resource No. 118 (0FD21268-00B2-42E4-AE92-BE5615260E5E.jpeg)

Resource No. 118 (60EABB2E-A61C-4F50-8D24-1087157FB957.jpeg)	

Survey Date:	12/29/2022	
Resource No:	**119 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3244 SAMUELL BLVD, 32.792740999999999/ -96.738724000000005305	
Function/ Subfunction:	Commercial	Bar
Form:	Box	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1956 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance, Lacks integrity	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	Parapet removed/altered, Storefront altered, Door replaced	
Integrity Notes:		
Effect:	None	

Resource No. 119 (379E0C44-DE6C-4D65-A68F-33B93F08DE39.jpeg)

Resource No. 119 (D7ECBDBA-1FD5-4084-9C18-6056AC5F9CBE.jpeg)	

Survey Date:	1/26/2022 (HNTB)	
Resource No:	**120 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3243 MERRIFIELD AVE, 32.792501000000001/ -96.738465000000005418	
Function/ Subfunction:	Commercial	Hotel
Form:	L-plan	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1974 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	I-30 East Corridor Project (HNTB, Sept. 2022, Resource #63) (Not eligible)	
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance, Lacks integrity	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	Doors replaced, Windows replaced	
Integrity Notes:		
Effect:	None	

Resource No. 120	***See photos on following pages.***

Survey Date:	01/26/2022
Resource No:	120 (HHM) [63 (HNTB)]
Project Location:	Dallas
Project Name and CSJ:	I-30 East Corridor Project; 0009-11-252
Address, Lat/Long:	3243 Merrifield Avenue; 32.792392, -96.738488
Function/Sub-function:	Commercial/Hotel
Construction Date:	1974
NRHP Eligibility:	Not Eligible
Integrity/Comments:	Resource 120 is a two-story motor hotel standing on a concrete slab. The rectilinear building has a flat roof, is clad in stucco, and is set back from Merrifield Avenue. The building's office is located on its west side and is accessed from a non-historic metal windowed door. The office has multiple non-historic fixed metal windows. Each unit of the building is accessed through external walkways and is equipped with non-historic vinyl door and has a non-historic fixed vinyl windows and an externally fixed air conditioning unit. The second story is equipped with a metal rail the second story external walkways. Along the front of the building are two-story stucco columns which support arches below the roofline. Attached to the office is a one and half story tall porte-cochere. The porte-cochere also has stucco columns and arches. Multiple two-story metal staircases are located on the building. Resource 120 retains integrity in the aspects of location and setting only. The building stands in its original location in a commercial section of Dallas. Changes to materials a such as removing the historic-age doors and windows have reduced integrity in the aspects of design, materials, and workmanship. Without the ability to convey significance in the aspect of design, the building no longer evokes a sense of commercial life in the mid-twentieth century. Due to the design changes, Resource 120 no longer possesses a direct link to the past and does not retain integrity in the aspect of association. Resource 120 does not exhibit characteristics of any academic type or style nor does its design embody a particular time period. Changes to the building's historic-age materials and fenestration have reduced the property's integrity and ability to convey significance. Therefore, Resource 120 is recommended not eligible under Criterion C for architecture. Resource 120 does not appear to have an association with significant individuals important to development of Dallas, Texas. Therefore, Resource 120 is not recommended eligible for the NRHP under Criterion B. Resource 120 was evaluated under Criterion A for Domestic/Hotel as a historic-age hotel. Though the resource possesses some character-defining features such as outside access to rooms, long exterior walkways, a porte-cochere, prominent office, and large sign, non-historic materials changes including the replacement of all historic-age windows and doors prohibit the building from conveying significance as a mid-20th century motor hotel. Therefore, Resource 120 is recommended not eligible under Criterion A.

HNTB Draft HRSR September 2022

Resource 120 (HHM) [63 (HNTB)]: view of office and main elevation, facing northwest

HNTB Draft

Resource 120 (HHM) [63 (HNTB)]: view of main elevation, facing northwest

HNTB Draft

Resource 120 (HHM) [63 (HNTB)]: view of indivdual units along south elevation

HNTB Draft

Survey Date:	12/29/2022	
Resource No:	**121 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3250 SAMUELL BLVD, 32.792771999999999/ -96.738495306	
Function/ Subfunction:	Commercial, Residential	Single-family house, Store
Form:	Foursquare, One-part commercial block	
Stylistic Influence(s):	National Folk, Commercial	
Construction Date:	1947 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks integrity	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	Storefronts and garage bays enclosed with concrete block	
Integrity Notes:		
Effect:	None	

Resource No. 121 (9E48D7F0-56AA-45DD-9FA8-55E5BCEA00F9.jpeg)

Resource No. 121 (97D937AA-7F88-4469-B8DE-453A983683BE.jpeg)	

Survey Date:	12/29/2022	
Resource No:	**122 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3300 SAMUELL BLVD, 32.792724/ -96.738219999999998307	
Function/ Subfunction:	Commercial	Bar
Form:	Box	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1965 (In field estimate)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 122 (74501D77-8DFF-42E7-BC63-5E6F3F039D20.jpeg)

Resource No. 122 (FD243547-6935-4DED-939C-58EF4E012C1F.jpeg)	

Survey Date:	12/29/2022	
Resource No:	**123 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3320 SAMUELL BLVD, 32.792611000000001/ -96.738050999999999308	
Function/ Subfunction:	Commercial	Store
Form:	Commercial strip	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1954 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance, Lacks integrity	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	All windows replaced, Exterior wall materials covered/slip cover	
Integrity Notes:		
Effect:	None	

Resource No. 123 (12783C75-1054-45DE-8E03-087414194E85.jpeg)

Resource No. 123 (A899F5E1-D701-49BE-8DF5-8348C3E63928.jpeg)	

Survey Date:	12/29/2022	
Resource No:	**124 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3324 SAMUELL BLVD, 32.792605999999999/ -96.737837999999996309	
Function/ Subfunction:	Commercial	Store
Form:	Commercial strip	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1954 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance, Lacks integrity	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	All windows replaced, Exterior wall materials covered/slip cover	
Integrity Notes:		
Effect:	None	

Resource No. 124 (EBFCFD98-767F-4EAB-B8F4-780C85C9D25A.jpeg)

Resource No. 124 (0BC76AAB-6744-41DB-9568-1257E1E70AC7.jpeg)	

Survey Date:	1/26/2022 (HNTB)	
Resource No:	**125 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3315 MERRIFIELD AVE, 32.792318999999999/ -96.737900999999994419	
Function/ Subfunction:	Commercial	Auto repair
Form:	Commercial box	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1968 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	Bankhead Highway (HHM, 2013), I-30 East Corridor Project (HNTB, Sept. 2022, Resource #62) (Not Individually Eligible, Not eligible)	
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	Windows boarded	Canopy added
Integrity Notes:		
Effect:	None	

Resource No. 125	***See photos on following pages.***

Survey Date:	01/26/2022
Resource No:	125 (HHM) [62 (HNTB)]
Project Location:	Dallas
Project Name and CSJ:	I-30 East Corridor Project; 0009-11-252
Address, Lat/Long:	3315 Merrifield Avenue; 32.792329, -96.737913
Function/Sub-function:	Commercial/Automotive Repair
Construction Date:	1968
NRHP Eligibility:	Not Eligible
Integrity/Comments:	Resource 125 is a one-story building standing on a concrete slab. The historic-age core of the building has a flat roof and faces south. Metal framed window and door openings have been infilled with fiber wood boards and sit on top of brick that clads the main and east facing elevations. The common bond brick veneer continues along the north portion of the side elevation. Above the filled window openings is a wood flat parapet wall that lines the roof. A metal framed canopy stands directly in front of the main elevation. The canopy has a corrugated metal roof. A non-historic metal fence with a retractable gate stands on the east elevation and obscured the rear of the building. Resource 125 retains integrity in the aspects of location and setting only. The building stands inits original location in a commercial section of Dallas. Changes to materials a such as removing the historic-age doors and windows have reduced integrity in the aspects of design, materials, and workmanship. Without the ability to convey significance in the aspect of design, the building no longer evokes a sense of commercial life in the mid-twentieth century. Due to the design changes, Resource 125 no longer possesses a direct link to the past and does not retain integrity in the area of association. Resource 125 does not exhibit characteristics of any academic type or style nor does its design embody a particular time period. Changes to the building's historic-age materials and fenestration have reduced the property's integrity and ability to convey significance. Therefore, Resource 125 is recommended not eligible under Criterion C for architecture. Resource 125 does not appear to have an association with significant historical events or individuals important to development of Dallas, Texas. Therefore, Resource 125 is not recommended eligible for the NRHP under Criteria A or B.

HNTB Draft for SF Review September 2022

Resource 125 (HHM) [62 (HNTB)]: oblique view of façade (south elevation) and east elevation

HNTB Draft

Resource 125 (HHM) [62 (HNTB)]: view of non-historc material covering openings on façade

HNTB Draft

Survey Date:	1/26/2022 (HNTB)	
Resource No:	**126 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	5405 DOLPHIN RD, 32.792439999999999/ -96.737683000000004421	
Function/ Subfunction:	Commercial	Store
Form:	Commercial box	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1964 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	I-30 East Corridor Project (HNTB, Sept. 2022, Resource #60) (Not eligible)	
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance, Lacks integrity	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	Storefronts replaced	
Integrity Notes:		
Effect:	None	

Resource No. 126	***See photos on following pages.***

Survey Date:	01/26/2022
Resource No:	126 (HHM) [60 (HNTB)]
Project Location:	Dallas
Project Name and CSJ:	I-30 East Corridor Project; 0009-11-252
Address, Lat/Long:	5405 Dolphin Road; 32.792394, -97.737665
Function/Sub-function:	Commercial
Construction Date:	1964
NRHP Eligibility:	Not Eligible
Integrity/Comments:	Resource 126 is a single-story commercial building constructed of concrete block with a flat roof that projects over to façade to create a shallow covered walkway. The façade features a non-historic metal and fixed glass storefront, though portions of the storefront were covered with plywood sheets at the time of survey. A single, metal and fixed light door occupies the south elevation. A metal slab door is the only opening on the north elevation. The rear elevation was not accessible. Resource 126 sits on a paved corner lot with no landscaping. Resource 126 retains integrity in the aspects of location and setting only, because it has not been moved, and its viewshed has changed little since its 1964 construction. The installation of a non-historic storefront that dominates the façade has compromised the resource's integrity in the aspects of materials, design, and workmanship. Resource 126 does not convey any historic use or time period and does not retain integrity of feeling or association. Therefore, Resource 126 is recommended not eligible for the NRHP under Criterion C. Resource 126 does not appear to have an association with significant historical events or individuals important to development of Dallas, Texas. Therefore, Resource 126 is not recommended eligible for the NRHP under Criteria A or B.

HNTB Draft HHSR September 2022

Resource 126 (HHM) [60 (HNTB)]: view of façade oblique facing northwest

HNTB Draft

Resource 126 (HHM) [60 (HNTB)]: view of façade (east elevation)

HNTB Draft

Survey Date:	12/29/2022	
Resource No:	**127 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	6301 E R. L. THORNTON FWY, 32.792420999999997/ -96.736913000000001420	
Function/ Subfunction:	Commercial	Auto service
Form:	Commercial box	
Stylistic Influence(s):	Mid-century Modern	
Construction Date:	1965 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	Bankhead Highway (HHM, 2013), I-30 East Corridor Project (HNTB, Sept. 2022, Resource #61) (Not Individually Eligible, Not eligible)	
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	One garage door boarded	
Integrity Notes:		
Effect:	None	

Resource No. 127	***See photos on following pages.***

Survey Date:	01/26/2022
Resource No:	127 (HHM) [61 (HNTB)]
Project Location:	Dallas
Project Name and CSJ:	I-30 East Corridor Project; 0009-11-252
Address, Lat/Long:	6301 E.R.L. Thornton Freeway; 32.792375, -96.736968
Function/Sub-function:	Commercial/Automotive Repair
Construction Date:	1965
NRHP Eligibility:	Not Eligible
Integrity/Comments:	Resource 127 is a single-story auto repair shop. It is comprised of three parts: a central projecting section with three operational service bays, a recessed section on the east elevation with a single service bay that has been covered with plywood, and a recessed retail section on the west elevation. Each section of the building features a mix of historic-age and non-historic cladding materials including concrete block, plywood, and T1-11 siding. The retail section appears to possess its original metal and fixed light storefront, though large portions of the glass have been covered or replaced with plywood sheets and are covered by security bars. The metal rolling doors over the service bays were difficult to date because they had been painted. Resource 127 sits on a paved corner lot with no fencing or landscaping. Resource 127 retains integrity in the aspects of location and setting because it has not been moved, and its viewshed has changed little since its 1965 construction. It also retains integrity in the aspect of association because it is recognizable as an automotive repair building and still serves its historic use. The application of non-historic cladding materials, obscuring the historic-age storefront with plywood, and closing a service bay have compromised the resource's integrity in the aspects of materials, design, and workmanship. Resource 127 does not convey any particular time period and does not retain integrity of feeling as a mid- to late-mid-20th century automotive resource. Therefore, Resource 127 is recommended not eligible for the NRHP under Criterion C. Resource 127 does not appear to have an association with significant historical events or individuals important to development of Dallas, Texas. Therefore, Resource 127 is not recommended eligible for the NRHP under Criteria A or B.

HNTB Draft HUSR Report Mar 2022

Resource 127 (HHM) [61 (HNTB)]: view of façade (south elevation)

HNTB Draft

Resource 127 (HHM) [61 (HNTB)]: view of façade oblique, facing northeast

HNTB Draft

Survey Date:	1/26/2022 (HNTB)	
Resource No:	**128 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3421 MERRIFIELD AVE, 32.792392999999997/ -96.736626999999999422	
Function/ Subfunction:	Commercial	Store
Form:	Commercial box	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1968 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	I-30 East Corridor Project (HNTB, Sept. 2022, Resource #59) (Not eligible)	
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks integrity	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	Exterior wall materials replaced	Side addition
Integrity Notes:		
Effect:	None	

Resource No. 128	***See photos on following pages.***

Survey Date:	01/26/2022
Resource No:	128 (HHM) [59 (HNTB)]
Project Location:	Dallas
Project Name and CSJ:	I-30 East Corridor Project; 0009-11-252
Address, Lat/Long:	3421 Merrifield Avenue; 32.792369, -96.736612
Function/Sub-function:	Commercial
Construction Date:	1968
NRHP Eligibility:	Not Eligible
Integrity/Comments:	Resource 128 is a single-story commercial building with a parapet roof. The façade features a metal and fixed glass storefront that may be original, though the glass has all been covered in vinyl cling advertisements. Brick is visible surrounding the storefront, but it is painted, and its age could not be determined. The rest of the building is covered in non-historic stucco. A single, recessed service bay is located on the east elevation. It is covered by a non-historic rolling metal door. Resource 128 sits on an entirely paved lot with no landscaping. Resource 128 retains integrity in the aspects of location and setting only, because it has not been moved, and its viewshed has changed little since its 1968 construction. Due to the near comprehensive encapsulation of the building in non-historic materials, Resource 128 does not retain integrity in the aspects of materials, design, workmanship, feeling, or association. Therefore, Resource 128 is recommended not eligible for the NRHP under Criterion C. Resource 128 does not appear to have an association with significant historical events or individuals important to development of Dallas, Texas. Therefore, Resource 128 is not recommended eligible for the NRHP under Criteria A or B.

HNTB Draft HRSR September 2022

Resource 128 (HHM) [59 (HNTB)]: view of façade oblique, facing northwest

HNTB Draft

Resource 128 (HHM) [59 (HNTB)]: view of façade (south elevation)

HNTB Draft

Survey Date:	12/29/2022	
Resource No:	**129A (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3422 SAMUELL BLVD, 32.792624000000004/ -96.736227310	
Function/ Subfunction:	Commercial	Motel
Form:	U-plan	
Stylistic Influence(s):	Ranch Style	
Construction Date:	1965 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 129A (CAB156E8-548B-45A3-9D45-69D3395E2D63.jpeg)

Resource No. 129A (86523B9A-9C2C-48C2-B2A5-A2D03CDD7787.jpeg)	

Survey Date:	1/11/2023	
Resource No:	**129B (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3422 SAMUELL BLVD, 32.792777999999998/ -96.736307999999994174	
Function/ Subfunction:	Commercial	Motel accessory building
Form:	Rectangular	
Stylistic Influence(s):	Ranch	
Construction Date:	1965	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Limited visibility from ROW	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		
Integrity Notes:	Limited visibility from ROW	
Effect:	None	

Resource No. 129B (3422 Samuell Blvd B.jpg)

Survey Date:	1/26/2022 (HNTB)	
Resource No:	**130 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3425 MERRIFIELD AVE, 32.792451999999997/ -96.736154999999997423	
Function/ Subfunction:	Commercial	Store
Form:	Commercial strip	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1969 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	I-30 East Corridor Project (HNTB, Sept. 2022, Resource #58) (Not eligible)	
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks integrity, Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	Exterior wall materials replaced, Windows replaced, Doors replaced	
Integrity Notes:		
Effect:	None	

Resource No. 130	***See photos on following pages.***

Survey Date:	01/26/2022
Resource No:	130 (HHM) [58 (HNTB)]
Project Location:	Dallas
Project Name and CSJ:	I-30 East Corridor Project; 0009-11-252
Address, Lat/Long:	3425 Merrifield Avenue; 32.792422, -96.736289
Function/Sub-function:	Commercial
Construction Date:	1969
NRHP Eligibility:	Not Eligible
Integrity/Comments:	Resource 130 is a single-story, flat roofed commercial building. The entire resource has been remodeled and no historic-age material is visible on any elevation. Resource 130 features a stucco exterior with stone veneer water table and accents, metal-framed fixed windows, and metal and glass doors. It sits on a paved lot with a non-historic metal fence. Resource 130 retains integrity in the aspects of location and setting only, because it has not been moved, and its viewshed has changed little since its 1969 construction. Due to the comprehensive encapsulation of the building in non-historic materials, Resource 130 does not retain integrity in the aspects of materials, design, workmanship, feeling, or association. Therefore, Resource 130 is recommended not eligible for the NRHP under Criterion C. Resource 130 does not appear to have an association with significant historical events or individuals important to development of Dallas, Texas. Therefore, Resource 130 is not recommended eligible for the NRHP under Criteria A or B.

Resource 130 (HHM) [58 (HNTB)]: view of façade (south elevation), Source: Google Streetview

FINAL September 2022

Survey Date:	12/29/2022	
Resource No:	**131 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3504 SAMUELL BLVD, 32.792655000000003/ -96.735134000000002311	
Function/ Subfunction:	Commercial	Auto Sales/Service
Form:	Box	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1970 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 131 (725A45FB-051A-4611-A0C3-36402BA720F9.jpeg)

Resource No. 131 (A07E39A1-4D92-488E-8411-0CA9BFF60747.jpeg)	

Survey Date:	12/29/2022	
Resource No:	**132 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3526 SAMUELL BLVD, 32.792644000000003/ -96.734212999999997312	
Function/ Subfunction:	Commercial	Store
Form:	Commercial strip	
Stylistic Influence(s):	Ranch Style	
Construction Date:	1967 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 132 (446DC40B-1F18-4013-B0BD-755DC81F922E.jpeg)

Resource No. 132 (7C0001A5-8F15-4F7F-BEDC-520402A8289E.jpeg)	

Survey Date:	1/26/2022 (HNTB)	
Resource No:	**133 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3533 MERRIFIELD AVE, 32.792358999999998/ -96.734014999999999424	
Function/ Subfunction:	Commercial	Auto repair
Form:	Commercial box	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1964 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	I-30 East Corridor Project (HNTB, Sept. 2022, Resource #57) (Not eligible)	
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance, Lacks integrity	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	Doors replaced, Some windows boarded	
Integrity Notes:		
Effect:	None	

Resource No. 133	***See photos on following pages.***

Survey Date:	01/26/2022
Resource No:	133 (HHM) [57 (HNTB)]
Project Location:	Dallas
Project Name and CSJ:	I-30 East Corridor Project; 0009-11-252
Address, Lat/Long:	3533 Merrifield Avenue; 32.792320, -96.734010
Function/Sub-function:	Commercial
Construction Date:	1964
NRHP Eligibility:	Not Eligible
Integrity/Comments:	Resource 133 is a single-story, flat roofed commercial building. The façade is painted brick, and all other elevation are painted concrete block. Some windows are missing and covered with plywood, while others appear to be metal-framed original units. All windows are covered by security bars. There are two single entrances on the façade, and both feature non-historic metal and fixed glass doors that are also covered by security bars. Resource 133 features no ornamentation. The resource is in a lot that is predominantly paved. Most of the parcel is hidden by solid metal fencing topped with barbed wire. Resource 133 retains integrity in the aspects of location and setting only, because it has not been moved, and its viewshed has changed little since its 1964 construction. Due to the loss of some windows, the replacement of the only doors on the façade, and the use of visually prominent security bars on all openings, Resource 133 does not retain integrity in the aspects of materials, design, workmanship, feeling, or association. Therefore, Resource 133 is recommended not eligible for the NRHP under Criterion C. Resource 133 does not appear to have an association with significant historical events or individuals important to development of Dallas, Texas. Therefore, Resource 133 is recommended for the NRHP under Criteria A or B.

HNTB Draft HRSR September 2022

Resource 133 (HHM) [57 (HNTB)]: view of façade (south), Source: Google Streetview

HNTB Draft HRSR Sept 2022

Survey Date:	1/13/2023	
Resource No:	**134 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3602 SAMUELL BLVD, 32.792355000000001/ -96.73314999999999525	
Function/ Subfunction:	Commercial	Auto Sales/Service
Form:	Box	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1956 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance, Lacks integrity	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	Windows boarded, Service bay doors enclosed	
Integrity Notes:		
Effect:	None	

Resource No. 134 (EB4FD791-4A11-4AF5-829C-C1DB91024DA7.jpeg)

Resource No. 134 (7E4BF11D-B0A4-4461-B8B8-20B2A6AE8982.jpeg)	

Survey Date:	1/26/2022 (HNTB)	
Resource No:	**135 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3602 SAMUELL BLVD, 32.792665999999997/ -96.732957999999996425	
Function/ Subfunction:	Commercial	Bar/club
Form:	Commercial box	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1956 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	I-30 East Corridor Project (HNTB, Sept. 2022, Resource #56) (Not eligible)	
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks integrity	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	Doors replaced, Windows enclosed	
Integrity Notes:		
Effect:	None	

Resource No. 135	***See photos on following pages.***

Survey Date:	01/26/2022
Resource No:	135 (HHM) [56 (HNTB)]
Project Location:	Dallas
Project Name and CSJ:	I-30 East Corridor Project; 0009-11-252
Address, Lat/Long:	3602 Samuell Boulevard; 32.792343, -96.733163
Function/Sub-function:	Commercial
Construction Date:	1965
NRHP Eligibility:	Not Eligible
Integrity/Comments:	Resource 135 is a one-story building standing on a concrete slab. The building has a flat roof. The main elevation faces north and is clad in irregularly bonded brick. The brick stretchers vary in length and are sporadically projected from the main elevation. A pair of non-historic metal double-doors access the main elevation. The original openings along the main elevation have been filled with non-historic bricks. The flat roof extends over the main elevation creating a canopy that is topped with a metal framed parapet wall. The west elevation has one window that has been covered with a wood board on its south side. The east elevation has one opening obscured by metal bars. Resource 135 retains integrity in the aspects of location and setting only. The building stands inits original location in a commercial section of Dallas. Changes to materials and changes in the building's fenestration have reduced integrity in the aspects of design, materials, and workmanship. Without the ability to convey significance in the aspect of design, the building no longer evokes a sense of commercial life in the mid-twentieth century. Due to the design changes, Resource 135 no longer possesses a direct link to the past and does not retain integrity in the aspect of association. Research did not reveal that Resource 135 has any associations with events or people that made significant contributions to history. Therefore, the resource is recommended not eligible under Criteria A or B. Resource 135 does not exhibit characteristics of any academic type or style nor does its design embody a particular time period. Changes to the building's historic-age materials and fenestration have reduced the property's integrity and ability to convey significance. Therefore, Resource 135 is recommended not eligible under Criterion C for architecture.

HNTB Draft - NOT for Submittal September 2022

Resource 135 (HHM) [56 (HNTB)]: view of façade (north elevation)

HNTB Draft

Resource 135 (HHM) [56 (HNTB)]: view of west elevation

HNTB Draft

Survey Date:	1/12/2023	
Resource No:	**136 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3602 SAMUELL BLVD, 32.792428999999998/ -96.732330000000005167	
Function/ Subfunction:	Commercial	Auto Sales/Service
Form:	Commercial strip	
Stylistic Influence(s):	Ranch	
Construction Date:	1956 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance, Lacks integrity	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	Some windows enclosed, Some doors replaced	
Integrity Notes:		
Effect:	None	

Resource No. 136 (C9132377-A557-4466-82F2-22B2DD8567E3.jpeg)

Resource No. 136 (3CAEC6BE-6087-411A-BBBB-271DF00A06E0.jpeg)	
Resource No. 136 (D3FEA759-F4BC-42B5-9630-41CC0E5EB468.jpeg)	

Survey Date:	12/30/2022	
Resource No:	**137 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3700 SAMUELL, 32.792969999999997/ -96.731514000000004206	
Function/ Subfunction:	Transportation	Grade Separation (Over/Under Pass)
Form:	Steel I Beam, Simple Span	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1936 (Plaque)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Individually eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	Criterion C, Engineering, Local level of significance	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 137 (25B3474A-9B12-4296-8578-18ED0B7DB1F9.jpeg)

Resource No. 137 (6922516D-7763-4CA0-902A-AFFCDAF61D50.jpeg)	
Resource No. 137 (C0FFAFE4-E2DA-4108-B277-78E66A1A7A22.jpeg)	

Survey Date:	1/26/2022 (HNTB)	
Resource No:	**138 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3710 SAMUELL BLVD, 32.792577000000001/ -96.730886999999996426	
Function/ Subfunction:	Commercial	Auto repair
Form:	Commercial box	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1969 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	I-30 East Corridor Project (HNTB, Sept. 2022, Resource #55) (Not eligible)	
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks integrity	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	Garage doors replaced, Storefront boarded	Rear additions
Integrity Notes:		
Effect:	None	

Resource No. 138	***See photos on following pages.***

Survey Date:	01/26/2022
Resource No:	138 (HHM) [55 (HHM)]
Project Location:	Dallas
Project Name and CSJ:	I-30 East Corridor Project; 0009-11-252
Address, Lat/Long:	3710 Samuell Boulevard; 32.792645, -96.730874
Function/Sub-function:	Commercial
Construction Date:	1969
NRHP Eligibility:	Not Eligible
Integrity/Comments:	Resource 138 is a one-story commercial building standing on a concrete slab. The building has multiple flat roofs and a main elevation that faces north. The building is clad in a running bond brick veneer. Historic-age openings along the main elevation have been covered by wood boards. The only opening remaining on the main elevation is a garage bay accessed through a non-historic metal rolling door. A projected wood-framed awning lines the roofline and supports a wood-framed parapet roof. The east- elevation has a set of double doors and a garage bay accessed by a metal rolling garage door. The south side of the side elevation has a projected brick addition which covers an entrance. The west-elevation has a metal door and a garage bay opening covered by a metal rolling garage door. One door accesses the building on the west side of the rear elevation. Resource 138 retains integrity in the aspects of location and setting only. The building stands in itsoriginal location in a commercial section of Dallas. Changes in materials and changes in the building's fenestration have reduced integrity in the aspects of design, materials, and workmanship. Without the ability to convey significance in the aspect of design, the building no longer evokes a sense of commercial life in the mid-twentieth century. Due to the design changes, Resource 138 no longer possesses a direct link to the past and does not retain integrityin the aspect of association. Research did not reveal that Resource 138 has any associations with events or people that made significant contributions to history. Therefore, the resource is recommended not eligible under Criteria A or B. Resource 138 does not exhibit characteristics of any academic type or style nor does its designembody a particular time period. Changes to the building's historic-age materials and fenestrations have reduced the property's integrity and ability to convey significance. Therefore, Resource 138 is recommended not eligible under Criterion C for architecture.

HNTB DRAFT HRSR Report June 2022

Resource 138 (HHM) [55 (HHM)]: view of façade (north elevation)

HNTB Draft

Resource 138 (HHM) [55 (HHM)]: oblique view of façade and east- elevation

HNTB Draft

Resource 138 (HHM) [55 (HHM)]: oblique view of rear (south) and east- elevations

HNTB Draft

Survey Date:	1/13/2023	
Resource No:	**139 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3708 SAMUELL BLVD, 32.792662/ -96.73048599999999930	
Function/ Subfunction:	Commercial	Store
Form:	Box	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1955 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 139 (33FAA722-2435-4CE7-A4F0-B12056A41856.jpeg)

Resource No. 139 (4D0AE726-E791-4CB6-A8A3-B414CC03FE37.jpeg)	

Survey Date:	1/26/2022 (HNTB)	
Resource No:	**140A (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3732 SAMUELL BLVD, 32.792717000000003/ -96.730172999999994427	
Function/ Subfunction:	Commercial	Store
Form:	Commercial box	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1940 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	I-30 East Corridor Project (HNTB, Sept. 2022, Resource #54) (Not eligible)	
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance, Lacks integrity	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	Door boarded, Windows boarded	Rear addition
Integrity Notes:		
Effect:	None	

Resource No. 140A	***See photos on following pages.***

Survey Date:	01/26/2022
Resource No:	140A (HHM) [54 (HNTB)]
Project Location:	Dallas
Project Name and CSJ:	I-30 East Corridor Project; 0009-11-252
Address, Lat/Long:	3732 Samuell Boulevard; 32.792691, -96.730163
Function/Sub-function:	Commercial
Construction Date:	1940
NRHP Eligibility:	Not Eligible
Integrity/Comments:	Resource 140A is a one-story building standing on a concrete slab foundation. The original portion of the building has a fat roof and has a front-facing gable addition which was constructed in the historic-age period. The original portion of the building is clad in non-historic vinyl clapboards. The main elevation faces north and has multiple windows covered by woodboards and a central non-historic fiber board door. The main elevation has a wood framed parapet wall. The gable roof addition has a non-historic standing seam metal roof and is clad in non-historic vinyl clapboards. The east elevation has a non-historic door and a covered window opening. A projected shed roof clad in non-historic asphalt shingles covers the openings. The west elevation has a non-historic door which accesses the gable addition. Portions of the side elevation are clad in non-historic fiber wood boards. The parapet wall continues along the original portion of the building. Resource 140A retains integrity in the aspects of location and setting only. The building stands in itsoriginal location in a commercial section of Dallas. Changes in materials and changes in the building's fenestration have reduced integrity in the aspects of design, materials, and workmanship. Without the ability to convey significance in the aspect of design, the building no longer evokes a sense of commercial life in the mid-twentieth century. Due to the design changes, Resource 140A no longer possesses a direct link to the past and does not retain integrityin the aspect of association. Research did not reveal that Resource 140A has any associations with events or people that made significant contributions to history. Therefore, the resource is recommended not eligible under Criteria A or B. Resource 140A does not exhibit characteristics of any academic type or style nor does its designembody a particular time period. Changes to the building's historic-age materials and fenestrations have reduced the property's integrity and ability to convey significance. Therefore, Resource 140A is recommended not eligible under Criterion C for architecture.

HNTB Draft HRSR September 2022

Resource 140A (HHM) [54 (HNTB)]: view of façade (north elevation)

HNTB Draft

Resource 140A (HHM) [54 (HNTB)]: oblique view of façade and east elevation

HNTB Draft

Resource 140A (HHM) [54 (HNTB)]: oblique view of façade and west elevation

HNTB Draft

Survey Date:	1/11/2023	
Resource No:	**140B (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3732 SAMUELL BLVD, 32.792679/ -96.729877999999999175	
Function/ Subfunction:	Commercial	Restaurant
Form:	Box with Canopy	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1965 (In field estimate)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 140B (3732 SAMUELL BLVD B.jpg)

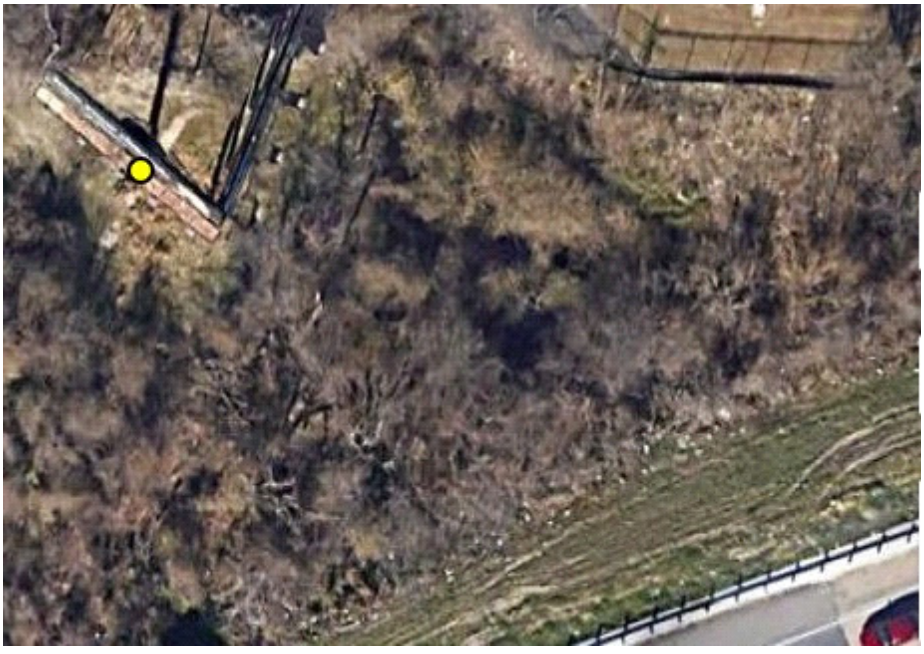
Survey Date:	1/13/2023	
Resource No:	**141 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3900 BLOCK SAMUELL, 32.792977/ -96.727339999999998137	
Function/ Subfunction:	Transportation	Bridge-Class Culvert
Form:		
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1936 (Bankhead Highway survey)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	Bankhead Highway (HHM, 2013) (Not Individually Eligible)	
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 141 (18040B95-248F-45BC-81A3-FDAB53F579EF.jpeg)

Resource No. 141 (1181_1384975416.JPG)	
Resource No. 141 (1180_1384975381.JPG)	

Survey Date:	1/13/2023	
Resource No:	**142 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	7001 E R. L. THORNTON FWY, 32.794935000000002/ -96.72482300000000129	
Function/ Subfunction:	Commercial	Billboard
Form:		
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	0 (Desktop survey)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 142 (7001 ERLT.jpg)



Survey Date:	12/27/2022	
Resource No:	**143A (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	7207 VALLEY GLEN DR, 32.796128000000003/ -96.724699999999999537	
Function/ Subfunction:	Residential	Mid-rise apartment complex
Form:	Multiple detached units	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1971 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 143A (C6485C27-86EA-4863-939C-93F35864792B.jpeg)

Resource No. 143A (FCDD91AF-FD46-4635-8166-0D8C33CB2E5D.jpeg)	

Survey Date:	1/12/2023	
Resource No:	**143B (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	7207 VALLEY GLEN DR, 32.796408/ -96.724388000000005165	
Function/ Subfunction:	Residential	Mid-rise apartment complex
Form:	Multiple detached units	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1971 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 143B (FCDD91AF-FD46-4635-8166-0D8C33CB2E5D.jpeg)

Survey Date:	1/12/2023	
Resource No:	**143C (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	7207 VALLEY GLEN DR, 32.796627000000001/ -96.724243000000001164	
Function/ Subfunction:	Residential	Mid-rise apartment complex
Form:	Multiple detached units	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1971 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 143C	***See photos on following pages.***

Survey Date:	1/12/2023	
Resource No:	**143D (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	7207 VALLEY GLEN DR, 32.796669000000001/ -96.723910000000004163	
Function/ Subfunction:	Residential	Mid-rise apartment complex
Form:	Multiple detached units	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1971 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 143D	***See photos on following pages.***

Survey Date:	1/12/2023	
Resource No:	**143E (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	7207 VALLEY GLEN DR, 32.797204000000001/ -96.723917999999998162	
Function/ Subfunction:	Residential	Mid-rise apartment complex
Form:	Multiple detached units	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1971 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 143E	***See photos on following pages.***

Survey Date:	1/12/2023	
Resource No:	**143F (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	7207 VALLEY GLEN DR, 32.796889/ -96.723798000000002161	
Function/ Subfunction:	Residential	Mid-rise apartment complex
Form:	Multiple detached units	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1971 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 143F	***See photos on following pages.***

Survey Date:	1/12/2023	
Resource No:	**143G (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	7207 VALLEY GLEN DR, 32.797071000000003/ -96.723590999999999160	
Function/ Subfunction:	Residential	Mid-rise apartment complex
Form:	Multiple detached units	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1971 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 143G	***See photos on following pages.***

Survey Date:	1/12/2023	
Resource No:	**143H (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	7207 VALLEY GLEN DR, 32.796900999999998/ -96.723374000000007159	
Function/ Subfunction:	Residential	Mid-rise apartment complex
Form:	Multiple detached units	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1971 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 143H	***See photos on following pages.***

Survey Date:	1/12/2023	
Resource No:	**143I (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	7207 VALLEY GLEN DR, 32.796562999999999/ -96.723363000000006158	
Function/ Subfunction:	Residential	Mid-rise apartment complex
Form:	Multiple detached units	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1971 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 143I	***See photos on following pages.***

Survey Date:	1/12/2023	
Resource No:	**143J (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	7207 VALLEY GLEN DR, 32.796674000000003/ -96.723213000000001157	
Function/ Subfunction:	Residential	Mid-rise apartment complex
Form:	Multiple detached units	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1971 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 143J	***See photos on following pages.***

Survey Date:	1/12/2023	
Resource No:	**143K (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	7207 VALLEY GLEN DR, 32.796290999999997/ -96.723045999999997156	
Function/ Subfunction:	Residential	Mid-rise apartment complex
Form:	Multiple detached units	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1971 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 143K	***See photos on following pages.***

Survey Date:	1/12/2023	
Resource No:	**143L (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	7207 VALLEY GLEN DR, 32.796380999999997/ -96.722896000000006155	
Function/ Subfunction:	Residential	Mid-rise apartment complex
Form:	Multiple detached units	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1971 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 143L	***See photos on following pages.***

Survey Date:	1/12/2023	
Resource No:	**143M (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	7207 VALLEY GLEN DR, 32.796084999999998/ -96.722809999999996154	
Function/ Subfunction:	Residential	Mid-rise apartment complex
Form:	Multiple detached units	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1971 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 143M	***See photos on following pages.***

Survey Date:	1/12/2023	
Resource No:	**143N (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	7207 VALLEY GLEN DR, 32.796219999999998/ -96.722644000000003153	
Function/ Subfunction:	Residential	Mid-rise apartment complex
Form:	Multiple detached units	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1971 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 143N	***See photos on following pages.***

Survey Date:	1/12/2023	
Resource No:	**1430 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	7207 VALLEY GLEN DR, 32.795794000000001/ -96.722488999999996152	
Function/ Subfunction:	Residential	Mid-rise apartment complex
Form:	Multiple detached units	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1971 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 1430	***See photos on following pages.***

Survey Date:	1/12/2023	
Resource No:	**143P (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	7207 VALLEY GLEN DR, 32.795940000000002/ -96.722342999999995151	
Function/ Subfunction:	Residential	Mid-rise apartment complex
Form:	Multiple detached units	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1971 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 143P	***See photos on following pages.***

Survey Date:	1/12/2023	
Resource No:	**143Q (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	7207 VALLEY GLEN DR, 32.795796000000003/ -96.721914999999996166	
Function/ Subfunction:	Residential	Mid-rise apartment complex
Form:	Multiple detached units	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1971 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 143Q (29DEF466-F943-4FEE-8F9C-EC8122D5C4FA.jpeg)

Resource No. 143Q (FB30CCA5-CD61-4216-B627-F8C7654E5DA0.jpeg)	

Survey Date:	1/26/2022 (HNTB)	
Resource No:	**144 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	7205 FERGUSON RD, 32.795665/ -96.722125000000005536	
Function/ Subfunction:	Commercial	Auto Sales/Service
Form:	Box with Canopy	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1968 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	Bankhead Highway (HHM, 2013), I-30 East Corridor Project (HNTB, Sept. 2022, Resource #53) (Not Individually Eligible, Not eligible)	
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance, Lacks integrity	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	Canopy replaced, Awning replaced	
Integrity Notes:	Alterations outside period of significance	
Effect:	None	

Resource No. 144 (B8EA8C97-C304-44BE-9767-956D725BCA50.jpeg)

Resource No. 144 (A8A626DF-9DCB-4BB4-AB7C-6822DE877D8C.jpeg)	
Resource No. 144 (7D4CCF11-7DBE-4952-9B70-CC4EE1A8D7DD.jpeg)	

Survey Date:	01/26/2022
Resource No:	144 (HHM) [53 (HNTB)]
Project Location:	Dallas
Project Name and CSJ:	I-30 East Corridor Project; 0009-11-252
Address, Lat/Long:	7205 Ferguson Road; 32.795615, -96.22094
Function/Sub-function:	Commercial/Gas Station
Construction Date:	1968
NRHP Eligibility:	Not Eligible
Integrity/Comments:	Based on descriptions in the TxDOT historical studies report *A Field Guide to Gas Stations in Texas*, Resource 144 appears to be a Texaco gas station following the oblong box with semi-attached canopy form. Remaining character defining features of the Texaco brand include the building's stepped flat roof, angled roof side, and inward slopping pent roof, Resource 144 continues to operate as a Texaco gas station. During the non-historic period, the semi-detached canopy was replaced with a non-historic flat roof canopy. Non-historic eaves were added around the office which obscure the stepped flat roof. Resource 144 stands in an urban area of Dallas with surrounding lots containing a mix of historic-age commercial and residential properties. Resource 144 retains integrity in the aspect of location and setting. The building stands on its original location and is surrounded by a mixture of historic-age residences and commercial development. Changes to the exterior of Resource 144 have reduced integrity in the aspects of materials, design, and workmanship. The replacement of the character-defining historic-age canopy roof and the addition of non-historic eaves has severely diminished its integrity and ability to convey significance. Without its historic design intact, Resource 144 does not evoke a sense of mid-twentieth century commercial life nor does it possess a direct link to its past as a 1960s Texaco gas station. Therefore, Resource 144 does not possess integrity in the aspect of feeling or association. Research did not reveal that Resource 144 has any associations with events or people that made significant contributions to history. Therefore, the resource is recommended not eligible under Criteria A or B. The building was evaluated under Criterion C in the area of architecture and is recommended not eligible due to its lack of integrity. Design changes to Resource 144 including the replacement of its historic-age semi-detached canopy have reduced integrity and diminished the property's ability to convey significance.

HNTB Draft HHSR September 2022

Resource 144 (HHM) [53 (HNTB)]: oblique view of main and side elevations, facing northwest

HNTB Draft

Resource 144 (HHM) [53 (HNTB)]: view of façade (southeast elevation)

HNTB Draft

Survey Date:	12/27/2022	
Resource No:	**144A (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	7232 FERGUSON RD, 32.795616000000003/ -96.720821999999998538	
Function/ Subfunction:	Commercial	Auto Sales/Service
Form:	L-shaped with canopy	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1964 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	Bankhead Highway (HHM, 2013) (Not Individually Eligible)	
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance, Lacks integrity	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	All windows replaced, Doors replaced	
Integrity Notes:		
Effect:	None	

Resource No. 144A (40E1547A-9C61-4E5D-911B-4FA15F09E3D1.jpeg)

Resource No. 144A (03C01BD2-B693-4C88-B97B-649E8D0E684E.jpeg)	

Survey Date:	1/13/2023	
Resource No:	**144B (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	7232 FERGUSON RD, 32.795605000000002/ -96.72113600000000128	
Function/ Subfunction:	Commercial	Auto Sales/Service
Form:	Canopy	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1964 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	Bankhead Highway (HHM, 2013) (Not Individually Eligible)	
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 144B (03C01BD2-B693-4C88-B97B-649E8D0E684E.jpeg)

Survey Date:	1/13/2023	
Resource No:	**145A (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	7229 FERGUSON RD, 32.796373000000003/ -96.72117665	
Function/ Subfunction:	Residential	Mid-rise apartment complex
Form:	Multiple detached units	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1970 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 145A (D6D0DD37-4EC3-4EA5-B6C8-21968614A690.jpeg)	

Survey Date:	1/13/2023	
Resource No:	**145B (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	7229 FERGUSON RD, 32.796157000000001/ -96.72143400000000263	
Function/ Subfunction:	Residential	Mid-rise apartment complex
Form:	Multiple detached units	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1970 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 145B (1CDD65A1-72D6-49F3-9804-AAB6F4D3402C.jpeg)

Survey Date:	1/13/2023	
Resource No:	**145C (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	7229 FERGUSON RD, 32.795968000000002/ -96.72161599999999762	
Function/ Subfunction:	Residential	Mid-rise apartment complex
Form:	Multiple detached units	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1970 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 145C	***See photos on following pages.***

Survey Date:	1/13/2023	
Resource No:	**145D (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	7229 FERGUSON RD, 32.796526999999998/ -96.72137499999999561	
Function/ Subfunction:	Residential	Mid-rise apartment complex
Form:	Multiple detached units	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1970 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 145D	***See photos on following pages.***

Survey Date:	1/13/2023	
Resource No:	**145E (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	7229 FERGUSON RD, 32.796295999999998/ -96.72166300000000760	
Function/ Subfunction:	Residential	Mid-rise apartment complex
Form:	Multiple detached units	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1970 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 145E	***See photos on following pages.***

Survey Date:	1/13/2023	
Resource No:	**145F (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	7229 FERGUSON RD, 32.796711000000002/ -96.72149799999999759	
Function/ Subfunction:	Residential	Mid-rise apartment complex
Form:	Multiple detached units	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1970 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 145F	***See photos on following pages.***

Survey Date:	1/13/2023	
Resource No:	**145G (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	7229 FERGUSON RD, 32.796494000000003/ -96.72180799999999658	
Function/ Subfunction:	Residential	Mid-rise apartment complex
Form:	Multiple detached units	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1970 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 145G	***See photos on following pages.***

Survey Date:	1/13/2023	
Resource No:	**145H (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	7229 FERGUSON RD, 32.796281/ -96.72203299999999656	
Function/ Subfunction:	Residential	Mid-rise apartment complex
Form:	Multiple detached units	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1970 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 145H	***See photos on following pages.***

Survey Date:	1/13/2023	
Resource No:	**145I (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	7229 FERGUSON RD, 32.796790000000001/ -96.72179900000000455	
Function/ Subfunction:	Residential	Mid-rise apartment complex
Form:	Multiple detached units	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1970 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 145I	***See photos on following pages.***

Survey Date:	1/13/2023	
Resource No:	**145J (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	7229 FERGUSON RD, 32.797044999999997/ -96.72191100000000654	
Function/ Subfunction:	Residential	Mid-rise apartment complex
Form:	Multiple detached units	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1970 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 145J	***See photos on following pages.***

Survey Date:	1/13/2023	
Resource No:	**145K (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	7229 FERGUSON RD, 32.796832999999999/ -96.72212199999999953	
Function/ Subfunction:	Residential	Mid-rise apartment complex
Form:	Multiple detached units	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1970 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 145K	***See photos on following pages.***

Survey Date:	1/13/2023	
Resource No:	**145L (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	7229 FERGUSON RD, 32.796599999999998/ -96.72241499999999851	
Function/ Subfunction:	Residential	Mid-rise apartment complex
Form:	Multiple detached units	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1970 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 145L	***See photos on following pages.***

Survey Date:	1/13/2023	
Resource No:	**145M (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	7229 FERGUSON RD, 32.797089999999997/ -96.72218499999999650	
Function/ Subfunction:	Residential	Mid-rise apartment complex
Form:	Multiple detached units	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1970 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 145M	***See photos on following pages.***

Survey Date:	1/13/2023	
Resource No:	**145N (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	7229 FERGUSON RD, 32.797365999999997/ -96.72226399999999649	
Function/ Subfunction:	Residential	Mid-rise apartment complex
Form:	Multiple detached units	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1970 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 145N	***See photos on following pages.***

Survey Date:	1/13/2023	
Resource No:	**1450 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	7229 FERGUSON RD, 32.797122000000002/ -96.72251799999999448	
Function/ Subfunction:	Residential	Mid-rise apartment complex
Form:	Multiple detached units	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1970 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 1450	***See photos on following pages.***

Survey Date:	1/13/2023	
Resource No:	**145P (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	7229 FERGUSON RD, 32.796934/ -96.72281599999999547	
Function/ Subfunction:	Residential	Mid-rise apartment complex
Form:	Multiple detached units	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1970 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 145P	***See photos on following pages.***

Survey Date:	1/13/2023	
Resource No:	**145Q (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	7229 FERGUSON RD, 32.797474999999999/ -96.72250200000000646	
Function/ Subfunction:	Residential	Mid-rise apartment complex
Form:	Multiple detached units	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1970 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 145Q	***See photos on following pages.***

Survey Date:	1/13/2023	
Resource No:	**145R (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	7229 FERGUSON RD, 32.797680999999997/ -96.72267999999999744	
Function/ Subfunction:	Residential	Mid-rise apartment complex
Form:	Multiple detached units	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1970 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 145R	***See photos on following pages.***

Survey Date:	1/13/2023	
Resource No:	**145S (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	7229 FERGUSON RD, 32.797457000000001/ -96.72289700000000343	
Function/ Subfunction:	Residential	Mid-rise apartment complex
Form:	Multiple detached units	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1970 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 145S	***See photos on following pages.***

Survey Date:	1/13/2023	
Resource No:	**145T (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	7229 FERGUSON RD, 32.797241999999997/ -96.72317499999999842	
Function/ Subfunction:	Residential	Mid-rise apartment complex
Form:	Multiple detached units	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1970 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 145T	***See photos on following pages.***

Survey Date:	1/13/2023	
Resource No:	**145U (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	7229 FERGUSON RD, 32.797787/ -96.72288500000000540	
Function/ Subfunction:	Residential	Mid-rise apartment complex
Form:	Multiple detached units	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1970 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 145U	***See photos on following pages.***

Survey Date:	1/13/2023	
Resource No:	**145V (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	7229 FERGUSON RD, 32.797987999999997/ -96.72303800000000339	
Function/ Subfunction:	Residential	Mid-rise apartment complex
Form:	Multiple detached units	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1970 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 145V	***See photos on following pages.***

Survey Date:	1/13/2023	
Resource No:	**145W (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	7229 FERGUSON RD, 32.797780000000003/ -96.72330100000000638	
Function/ Subfunction:	Residential	Mid-rise apartment complex
Form:	Multiple detached units	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1970 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 145W	***See photos on following pages.***

Survey Date:	1/13/2023	
Resource No:	**145X (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	7229 FERGUSON RD, 32.797604/ -96.72358537	
Function/ Subfunction:	Residential	Mid-rise apartment complex
Form:	Multiple detached units	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1970 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 145X	***See photos on following pages.***

Survey Date:	12/27/2022	
Resource No:	**146 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	7248 FERGUSON RD, 32.796140999999999/ -96.720308000000003539	
Function/ Subfunction:	Commercial	Auto Sales/Service
Form:	Box with Canopy	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1973 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	Doors boarded	
Integrity Notes:	Limited visibility	
Effect:	None	

Resource No. 146 (9C136AE6-B7EC-4EB5-A445-68A8F2CB3063.jpeg)

Resource No. 146 (79499D23-F542-464D-98C2-8A1D766E7116.jpeg)	

Survey Date:	12/27/2022	
Resource No:	**147 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	7306 FERGUSON RD, 32.796377/ -96.719622000000001540	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1956 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks integrity	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	All windows replaced, Porch enclosed	
Integrity Notes:		
Effect:	None	

Resource No. 147 (F3FA3C8A-E687-42E4-908B-878D2BC7CB64.jpeg)

Resource No. 147 (505EC893-73A7-4281-BB66-080CA8791159.jpeg)	

Survey Date:	12/27/2022	
Resource No:	**148 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	7318 FERGUSON RD, 32.795803999999997/ -96.718369999999993541	
Function/ Subfunction:	Commercial	Warehouse
Form:	Rectangular	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1974 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		
Integrity Notes:	Limited visibility	
Effect:	None	

Resource No. 148 (D421F3E8-DE3B-4FDC-8070-217EE9632C9D.jpeg)

Resource No. 148 (4ECD0CA4-4C3C-40EB-8299-C41943B25676.jpeg)	

Survey Date:	12/27/2022	
Resource No:	**149 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	2371 LITTLE POCKET RD, 32.795785000000002/ -96.716971999999998542	
Function/ Subfunction:	Residential	Single-family house
Form:	Ranch	
Stylistic Influence(s):	Minimal Traditional	
Construction Date:	1954 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 149 (7DB7B931-B5D8-4E3A-B428-634E03EEB5BD.jpeg)

Resource No. 149 (B8AB246E-A709-4049-88EE-925DB503BD58.jpeg)	

Survey Date:	12/27/2022	
Resource No:	**150A (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	2468 LAUGHLIN DR, 32.795923999999999/ -96.713858000000002543	
Function/ Subfunction:	Residential	Mid-rise apartment complex
Form:	Multiple detached units	
Stylistic Influence(s):	Ranch Style	
Construction Date:	1968 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

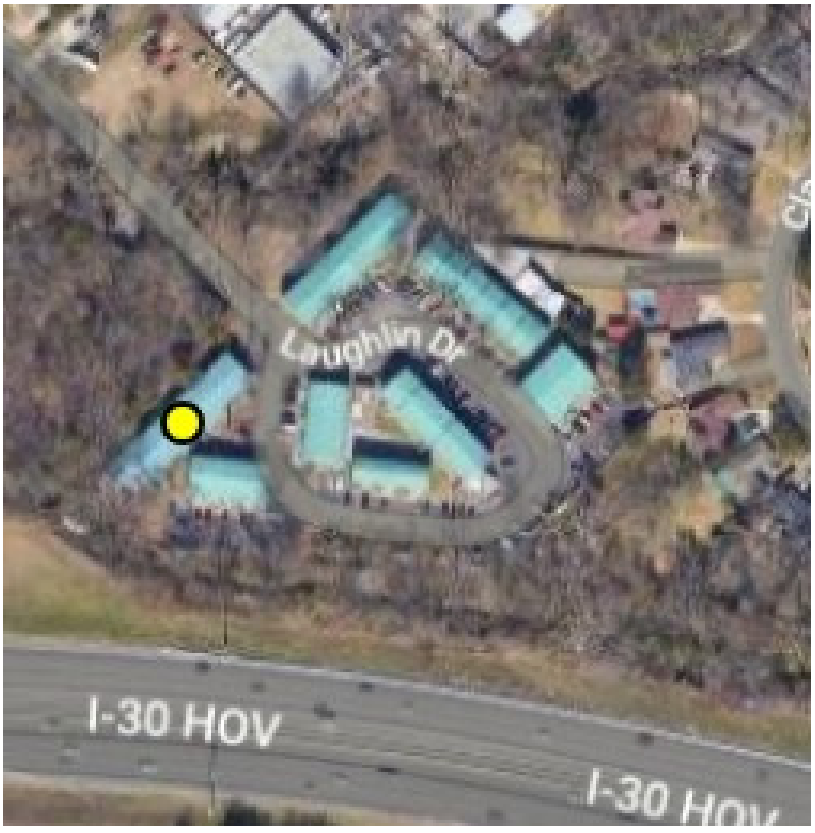
Resource No. 150A (479179BB-31D8-40E0-BDB0-ABAEB3752945.jpeg)

Survey Date:	1/13/2023	
Resource No:	**150B (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	2468 LAUGHLIN DR, 32.796179000000002/ -96.71415299999999683	
Function/ Subfunction:	Residential	Mid-rise apartment complex
Form:	Multiple detached units	
Stylistic Influence(s):	Ranch Style	
Construction Date:	1968 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 150B (100EE7D1-00D8-4C02-94F5-489C06EBC163.jpeg)

Survey Date:	1/13/2023	
Resource No:	**150C (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	2468 LAUGHLIN DR, 32.796281999999998/ -96.71456600000000582	
Function/ Subfunction:	Residential	Mid-rise apartment complex
Form:	Multiple detached units	
Stylistic Influence(s):	Ranch Style	
Construction Date:	1968 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 150C



Survey Date:	1/13/2023	
Resource No:	**150D (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	2468 LAUGHLIN DR, 32.795817999999997/ -96.71512599999999881	
Function/ Subfunction:	Residential	Mid-rise apartment complex
Form:	Multiple detached units	
Stylistic Influence(s):	Ranch Style	
Construction Date:	1968 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 150D

Survey Date:	1/13/2023	
Resource No:	**150E (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	2468 LAUGHLIN DR, 32.795656000000001/ -96.71498400000000179	
Function/ Subfunction:	Residential	Mid-rise apartment complex
Form:	Multiple detached units	
Stylistic Influence(s):	Ranch Style	
Construction Date:	1968 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 150E

Survey Date:	1/13/2023	
Resource No:	**150F (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	2468 LAUGHLIN DR, 32.795827000000003/ -96.71462499999999878	
Function/ Subfunction:	Residential	Mid-rise apartment complex
Form:	Multiple detached units	
Stylistic Influence(s):	Ranch Style	
Construction Date:	1968 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 150F	

Survey Date:	1/13/2023	
Resource No:	**150G (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	2468 LAUGHLIN DR, 32.795678000000002/ -96.71441000000000177	
Function/ Subfunction:	Residential	Mid-rise apartment complex
Form:	Multiple detached units	
Stylistic Influence(s):	Ranch Style	
Construction Date:	1968 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 150G	

Survey Date:	1/13/2023	
Resource No:	**150H (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	2468 LAUGHLIN DR, 32.795803999999997/ -96.71425499999999476	
Function/ Subfunction:	Residential	Mid-rise apartment complex
Form:	Multiple detached units	
Stylistic Influence(s):	Ranch Style	
Construction Date:	1968 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 150H	

Survey Date:	12/27/2022 (HHM)
District Name:	**CLAREMONT HISTORIC DISTRICT (HHM)**
Resource Nos.	**151-163**
Project Location:	Dallas County, Dallas District
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251
Rough Boundaries:	W R L Thornton Access Road on the southwest, Hunnicut Road on the southeast, Dorrington Drive on the northeast, and, on the northwest, Ferguson Road/the creek between Claremont Drive and Bar X Street
Functions/ Subfunctions:	Residential, Educational/ Single-family house, Duplex house, School, Apartment complex, Shopping center
Forms:	Ranch
Stylistic Influence(s):	Ranch Style, Mid-century Modern
Construction Dates:	1960-1965 (Appraisal district)
NRHP Eligibility:	Eligible as a district
NR District, Status:	Claremont,
Criteria, Notes:	Criterion A, Community Planning & Development, Local level of significance; Period of significance 1955-1970; Intensive survey would be necessary to refine boundaries precisely
Alterations/ Additions:	Windows and doors sometimes replaced, some exterior sometimes replaced/
Integrity Notes:	Few additions or changes to form, Majority of historic exterior materials intact
Effect:	None

Overview map showing the recommended Claremont Historic District. Boundary shown in blue, contributing resources in green, noncontributing resources in red. See Appendix D for a larger-scale map and legend.

Recommended Claremont Historic District, contextual photos (outside of APE).

Recommended Claremont Historic District, contextual photos (outside of APE).	

Survey Date:	12/27/2022	
Resource No:	**151 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	7763 CLAREMONT DR, 32.795861000000002/ -96.713300000000004544	
Function/ Subfunction:	Residential	Single-family house
Form:	Ranch	
Stylistic Influence(s):	Ranch Style	
Construction Date:	1960 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Claremont, Contributing	
Criteria, Notes:	Criterion A, Community Planning & Development, Local level of significance	
Alterations/Additions:	Doors replaced	
Integrity Notes:		
Effect:	None	

Resource No. 151 (7D022650-E5DA-4C02-A558-E8A4DF81C799.jpeg)

Resource No. 151 (B9A7C91A-00A1-4ABC-B0B0-020877168FE7.jpeg)	

Survey Date:	12/27/2022	
Resource No:	**152 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	7759 CLAREMONT DR, 32.795696999999997/ -96.713271000000006545	
Function/ Subfunction:	Residential	Single-family house
Form:	Ranch	
Stylistic Influence(s):	Ranch Style	
Construction Date:	1961 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Claremont, Contributing	
Criteria, Notes:	Criterion A, Community Planning & Development, Local level of significance	
Alterations/Additions:	All windows replaced, Doors replaced	
Integrity Notes:		
Effect:	None	

Resource No. 152 (35F64680-C52A-48CC-A0D0-87F1BDF8A52F.jpeg)

Resource No. 152 (AC324ED2-72F9-4B38-9C61-051D8BD8A4A0.jpeg)	

Survey Date:	12/27/2022	
Resource No:	**153 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	7753 CLAREMONT DR, 32.795554000000003/ -96.713054546	
Function/ Subfunction:	Residential	Single-family house
Form:	Ranch	
Stylistic Influence(s):	Ranch Style	
Construction Date:	1961 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Claremont, Contributing	
Criteria, Notes:	Criterion A, Community Planning & Development, Local level of significance	
Alterations/Additions:	All windows replaced, Doors replaced	
Integrity Notes:		
Effect:	None	

Resource No. 153 (DAE1267F-CFB1-40A0-B1F1-F11405DDA89F.jpeg)

Resource No. 153 (3CFCA0F3-438D-40B5-84D2-F169620E4E47.jpeg)	

Survey Date:	12/27/2022	
Resource No:	**154 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	7749 CLAREMONT DR, 32.795440999999997/ -96.712868999999998547	
Function/ Subfunction:	Residential	Single-family house
Form:	Ranch	
Stylistic Influence(s):	Ranch Style	
Construction Date:	1961 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Claremont, Contributing	
Criteria, Notes:	Criterion A, Community Planning & Development, Local level of significance	
Alterations/Additions:	All windows replaced, Doors replaced	
Integrity Notes:		
Effect:	None	

Resource No. 154 (911F1F6C-8AEF-4E3B-8559-49998E6157F5.jpeg)

Resource No. 154 (C5639FAC-1807-489B-AF69-2D624335D9FB.jpeg)	

Survey Date:	12/27/2022	
Resource No:	**155 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	7743 CLAREMONT DR, 32.795369000000001/ -96.712699999999998548	
Function/ Subfunction:	Residential	Single-family house
Form:	Ranch	
Stylistic Influence(s):	Ranch Style	
Construction Date:	1961 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Claremont, Contributing	
Criteria, Notes:	Criterion A, Community Planning & Development, Local level of significance	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 155 (B4E8AD58-0A9C-4215-BD09-698B23FCE1A6.jpeg)

Resource No. 155 (D6473B2F-B692-4549-B3B2-574BFED8D13D.jpeg)	

Survey Date:	12/27/2022	
Resource No:	**156 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	7739 CLAREMONT DR, 32.795378999999997/ -96.712490000000003549	
Function/ Subfunction:	Residential	Single-family house
Form:	Ranch	
Stylistic Influence(s):	Ranch Style	
Construction Date:	1961 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Claremont, Contributing	
Criteria, Notes:	Criterion A, Community Planning & Development, Local level of significance	
Alterations/Additions:	All windows replaced, Doors replaced, Brick painted	
Integrity Notes:		
Effect:	None	

Resource No. 156 (BFBDE4DF-42FE-4BE3-A289-053CA8173421.jpeg)

Resource No. 156 (0A3674E6-0BB1-45D5-863C-368745FE86E6.jpeg)	

Survey Date:	12/27/2022	
Resource No:	**157 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	7735 CLAREMONT DR, 32.795386000000001/ -96.712288000000001550	
Function/ Subfunction:	Residential	Single-family house
Form:	Ranch	
Stylistic Influence(s):	Ranch Style	
Construction Date:	1961 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Claremont, Contributing	
Criteria, Notes:	Criterion A, Community Planning & Development, Local level of significance	
Alterations/Additions:	All windows replaced, Doors replaced	
Integrity Notes:		
Effect:	None	

Resource No. 157 (947CAE9F-0520-4579-88FE-BC849537CDA3.jpeg)

Resource No. 157 (7CAAD7FF-9EE7-4EFA-B916-59FA6053F454.jpeg)	

Survey Date:	12/27/2022	
Resource No:	**158 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	7731 CLAREMONT DR, 32.795482/ -96.712093999999993551	
Function/ Subfunction:	Residential	Single-family house
Form:	Ranch	
Stylistic Influence(s):	Ranch Style	
Construction Date:	1960 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Claremont, Contributing	
Criteria, Notes:	Criterion A, Community Planning & Development, Local level of significance	
Alterations/Additions:	Some exterior wall materials replaced, Brick painted	
Integrity Notes:		
Effect:	None	

Resource No. 158 (AD46D170-85B4-48EA-86F3-B58030D4B9D2.jpeg)

Resource No. 158 (781CD106-E457-4C62-B442-226F1829F477.jpeg)	

Survey Date:	12/27/2022	
Resource No:	**159 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	7725 CLAREMONT DR, 32.795566999999998/ -96.711943000000005553	
Function/ Subfunction:	Residential	Duplex house
Form:	Ranch	
Stylistic Influence(s):	Ranch Style	
Construction Date:	1960 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Claremont, Contributing	
Criteria, Notes:	Criterion A, Community Planning & Development, Local level of significance	
Alterations/Additions:	Doors replaced	
Integrity Notes:		
Effect:	None	

Resource No. 159 (8D75F9E8-5F45-41BC-9EE9-317F27A12FE5.jpeg)

Resource No. 159 (5F4D8FE8-B54D-4F1C-9690-1B2427901D6F.jpeg)	

Survey Date:	12/27/2022	
Resource No:	**160A (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	7721 CLAREMONT DR, 32.795614/ -96.711768000000006554	
Function/ Subfunction:	Residential	Duplex house
Form:	Ranch	
Stylistic Influence(s):	Ranch Style	
Construction Date:	1960 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Claremont, Contributing	
Criteria, Notes:	Criterion A, Community Planning & Development, Local level of significance	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 160A (9427B9D3-AB6C-4402-A93A-EE37EB8D1649.jpeg)

Resource No. 160A (1391AD1F-8E2A-457E-BC9D-BF96CDF36B78.jpeg)	

Survey Date:	12/27/2022	
Resource No:	**160B (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	7721 CLAREMONT DR, 32.795485999999997/ -96.711652000000001552	
Function/ Subfunction:	Residential	Garage
Form:	Rectangular	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1960 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Claremont, Contributing	
Criteria, Notes:	Criterion A, Community Planning & Development, Local level of significance	
Alterations/Additions:	Doors replaced	
Integrity Notes:		
Effect:	None	

Resource No. 160B (A1F68918-67DF-4D71-A8EC-F4C32081E3A6.jpeg)

Survey Date:	12/27/2022	
Resource No:	**161A (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	7715 CLAREMONT DR, 32.795661000000003/ -96.711547999999993555	
Function/ Subfunction:	Residential	Duplex house
Form:	Ranch	
Stylistic Influence(s):	Ranch Style	
Construction Date:	1960 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Claremont, Contributing	
Criteria, Notes:	Criterion A, Community Planning & Development, Local level of significance	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 161A (0837624B-4B1B-4CFD-A7F3-118DAFFE535E.jpeg)

Resource No. 161A (3EBA0C9D-04D4-4771-A1BA-1A52D7F50FAB.jpeg)	

Survey Date:	1/13/2023	
Resource No:	**161B (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	7715 CLAREMONT DR, 32.795527/ -96.71153200000000520	
Function/ Subfunction:	Residential	Garage
Form:	Rectangular	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1960 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Claremont, Contributing	
Criteria, Notes:	Criterion A, Community Planning & Development, Local level of significance; Based on context given limited visibility	
Alterations/Additions:		
Integrity Notes:	Visibility limited	
Effect:	None	

Resource No. 161B (7715 Claremont B.jpg)

Survey Date:	12/27/2022	
Resource No:	**162A (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	7709 CLAREMONT DR, 32.795648999999997/ -96.711348000000001556	
Function/ Subfunction:	Residential	Duplex house
Form:	Ranch	
Stylistic Influence(s):	Ranch Style	
Construction Date:	1960 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Claremont, Contributing	
Criteria, Notes:	Criterion A, Community Planning & Development, Local level of significance	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 162A (23E22E26-E2FA-4447-87C9-DFE00214AE9D.jpeg)

Resource No. 162A (AB275426-EC7A-4D75-A73E-D56631628DF4.jpeg)	

Survey Date:	1/13/2023	
Resource No:	**162B (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	7709 CLAREMONT DR, 32.795504000000001/ -96.71137500000000421	
Function/ Subfunction:	Residential	Garage
Form:	Rectangular	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1960 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Claremont, Contributing	
Criteria, Notes:	Criterion A, Community Planning & Development, Local level of significance; Based on context given limited visibility	
Alterations/Additions:		
Integrity Notes:	Visibility limited	
Effect:	None	

Resource No. 162B (7709 Claremont B.jpg)	

Survey Date:	12/27/2022	
Resource No:	**163 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	7703 CLAREMONT DR, 32.795566000000001/ -96.711188000000007557	
Function/ Subfunction:	Residential	Duplex house
Form:	Ranch	
Stylistic Influence(s):	Ranch Style	
Construction Date:	1960 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Claremont, Contributing	
Criteria, Notes:	Criterion A, Community Planning & Development, Local level of significance	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 163 (BE4FD1C6-53F1-4120-9AFA-8F41D50E6A9C.jpeg)

Resource No. 163 (A0A27750-CF39-442E-B79C-4798970680D5.jpeg)	

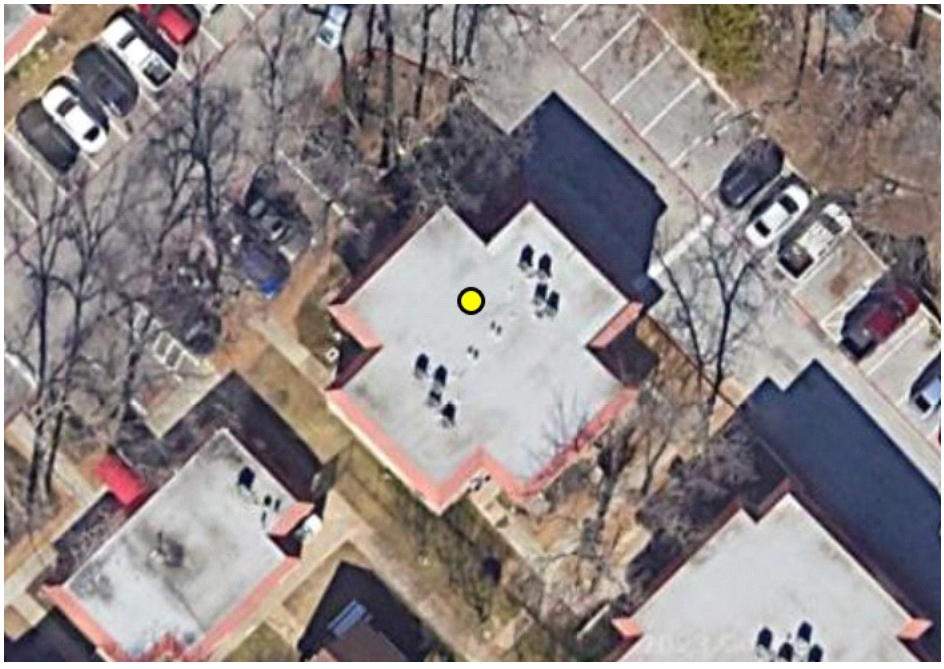
Survey Date:	1/13/2023	
Resource No:	**164A (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	7777 E R. L. THORNTON FWY, 32.795757000000002/ -96.709027000000006114	
Function/ Subfunction:	Residential	Mid-rise apartment complex
Form:	Multiple detached units	
Stylistic Influence(s):	Ranch Style	
Construction Date:	1971 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	All windows replaced	
Integrity Notes:		
Effect:	None	

Resource No. 164A (42128CCE-DE72-4140-8064-9431497DE067.jpeg)

Resource No. 164A (0265625C-F751-4C79-92F8-CF77D2DA5488.jpeg)	

Survey Date:	1/13/2023	
Resource No:	**164B (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	7777 E R. L. THORNTON FWY, 32.795991000000001/ -96.709284999999994112	
Function/ Subfunction:	Residential	Mid-rise apartment complex
Form:	Multiple detached units	
Stylistic Influence(s):	Ranch Style	
Construction Date:	1971 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	All windows replaced	
Integrity Notes:		
Effect:	None	

Resource No. 164B (7777 ERLT B.jpg)



Survey Date:	1/13/2023	
Resource No:	**164C (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	7777 E R. L. THORNTON FWY, 32.796225999999997/ -96.709648999999999111	
Function/ Subfunction:	Residential	Mid-rise apartment complex
Form:	Multiple detached units	
Stylistic Influence(s):	Ranch Style	
Construction Date:	1971 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	All windows replaced	
Integrity Notes:		
Effect:	None	

Resource No. 164C (7777 ERLT C.jpg)

Survey Date:	1/13/2023	
Resource No:	**164D (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	7777 E R. L. THORNTON FWY, 32.795613000000003/ -96.709166999999994109	
Function/ Subfunction:	Residential	Mid-rise apartment complex
Form:	Multiple detached units	
Stylistic Influence(s):	Ranch Style	
Construction Date:	1971 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	All windows replaced	
Integrity Notes:		
Effect:	None	

Resource No. 164D	

Survey Date:	1/13/2023	
Resource No:	**164E (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	7777 E R. L. THORNTON FWY, 32.795856000000001/ -96.709456000000003108	
Function/ Subfunction:	Residential	Mid-rise apartment complex
Form:	Multiple detached units	
Stylistic Influence(s):	Ranch Style	
Construction Date:	1971 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	All windows replaced	
Integrity Notes:		
Effect:	None	

Resource No. 164E

Survey Date:	1/13/2023	
Resource No:	**164F (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	7777 E R. L. THORNTON FWY, 32.796090999999997/ -96.709852999999995106	
Function/ Subfunction:	Residential	Mid-rise apartment complex
Form:	Multiple detached units	
Stylistic Influence(s):	Ranch Style	
Construction Date:	1971 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	All windows replaced	
Integrity Notes:		
Effect:	None	

Resource No. 164F	

Survey Date:	1/13/2023	
Resource No:	**164G (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	7777 E R. L. THORNTON FWY, 32.795468/ -96.709370000000007104	
Function/ Subfunction:	Residential	Mid-rise apartment complex
Form:	Multiple detached units	
Stylistic Influence(s):	Ranch Style	
Construction Date:	1971 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	All windows replaced	
Integrity Notes:		
Effect:	None	

Resource No. 164G	

Survey Date:	1/13/2023	
Resource No:	**164H (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	7777 E R. L. THORNTON FWY, 32.795676/ -96.709648999999999103	
Function/ Subfunction:	Residential	Mid-rise apartment complex
Form:	Multiple detached units	
Stylistic Influence(s):	Ranch Style	
Construction Date:	1971 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	All windows replaced	
Integrity Notes:		
Effect:	None	

Resource No. 164H	

Survey Date:	1/13/2023	
Resource No:	**164I (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	7777 E R. L. THORNTON FWY, 32.795909999999999/ -96.710046000000006102	
Function/ Subfunction:	Residential	Mid-rise apartment complex
Form:	Multiple detached units	
Stylistic Influence(s):	Ranch Style	
Construction Date:	1971 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	All windows replaced	
Integrity Notes:		
Effect:	None	

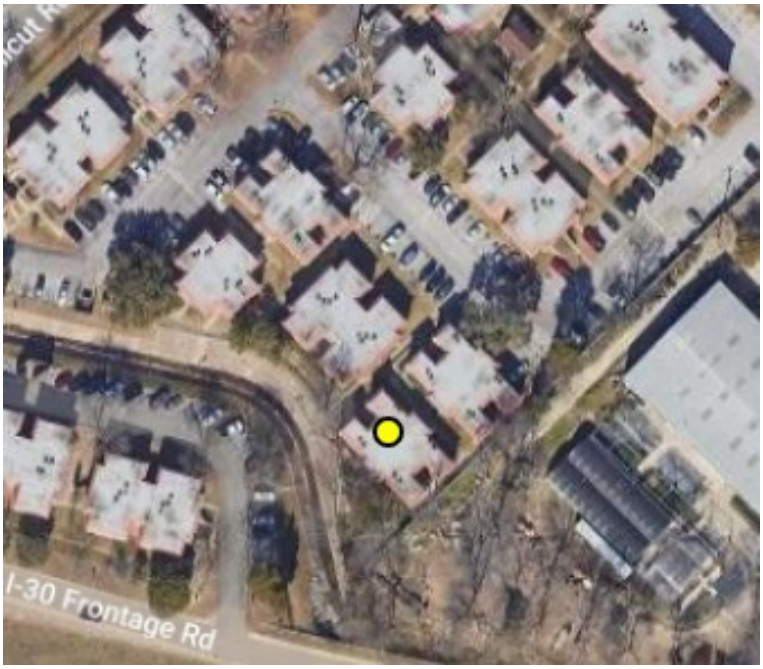
Resource No. 164I

Survey Date:	1/13/2023	
Resource No:	**164J (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	7777 E R. L. THORNTON FWY, 32.795116999999998/ -96.709489000000005101	
Function/ Subfunction:	Residential	Mid-rise apartment complex
Form:	Multiple detached units	
Stylistic Influence(s):	Ranch Style	
Construction Date:	1971 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	All windows replaced	
Integrity Notes:		
Effect:	None	

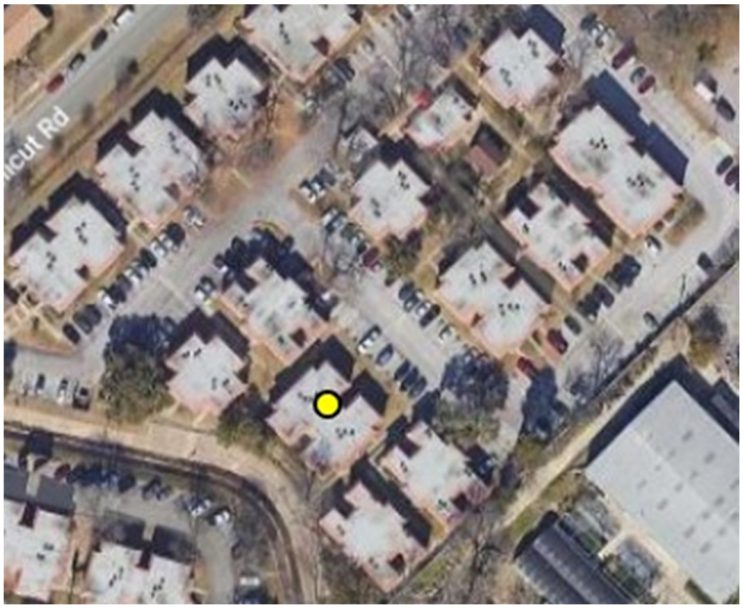
Resource No. 164J	

Survey Date:	1/13/2023	
Resource No:	**164K (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	7777 E R. L. THORNTON FWY, 32.794981/ -96.70967197	
Function/ Subfunction:	Residential	Mid-rise apartment complex
Form:	Multiple detached units	
Stylistic Influence(s):	Ranch Style	
Construction Date:	1971 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	All windows replaced	
Integrity Notes:		
Effect:	None	

Resource No. 164K



Survey Date:	1/13/2023	
Resource No:	**164L (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	7777 E R. L. THORNTON FWY, 32.795234000000001/ -96.70976699999999996	
Function/ Subfunction:	Residential	Mid-rise apartment complex
Form:	Multiple detached units	
Stylistic Influence(s):	Ranch Style	
Construction Date:	1971 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	All windows replaced	
Integrity Notes:		
Effect:	None	

Resource No. 164L	

Survey Date:	1/13/2023	
Resource No:	**164M (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	7777 E R. L. THORNTON FWY, 32.795450000000002/ -96.70992800000000595	
Function/ Subfunction:	Residential	Mid-rise apartment complex
Form:	Multiple detached units	
Stylistic Influence(s):	Ranch Style	
Construction Date:	1971 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	All windows replaced	
Integrity Notes:		
Effect:	None	

Resource No. 164M	

Survey Date:	1/13/2023	
Resource No:	**164N (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	7777 E R. L. THORNTON FWY, 32.795332999999999/ -96.71007799999999693	
Function/ Subfunction:	Residential	Mid-rise apartment complex
Form:	Multiple detached units	
Stylistic Influence(s):	Ranch Style	
Construction Date:	1971 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	All windows replaced	
Integrity Notes:		
Effect:	None	

Resource No. 164N	

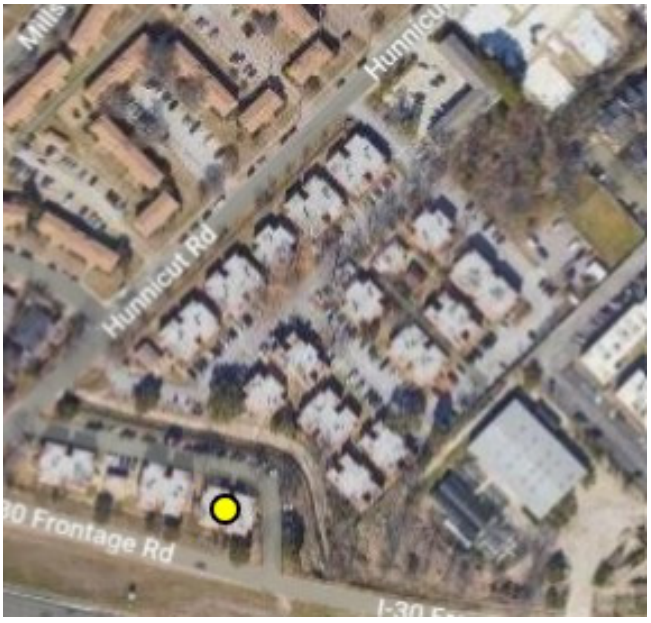
Survey Date:	1/13/2023	
Resource No:	**1640 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	7777 E R. L. THORNTON FWY, 32.795757000000002/ -96.71023999999999992	
Function/ Subfunction:	Residential	Mid-rise apartment complex
Form:	Multiple detached units	
Stylistic Influence(s):	Ranch Style	
Construction Date:	1971 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	All windows replaced	
Integrity Notes:		
Effect:	None	

Resource No. 1640	

Survey Date:	1/13/2023	
Resource No:	**164P (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	7777 E R. L. THORNTON FWY, 32.795586/ -96.71042199999999488	
Function/ Subfunction:	Residential	Mid-rise apartment complex
Form:	Multiple detached units	
Stylistic Influence(s):	Ranch Style	
Construction Date:	1971 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	All windows replaced	
Integrity Notes:		
Effect:	None	

Resource No. 164P	

Survey Date:	1/13/2023	
Resource No:	**164Q (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	7777 E R. L. THORNTON FWY, 32.794846/ -96.71026100000000387	
Function/ Subfunction:	Residential	Mid-rise apartment complex
Form:	Multiple detached units	
Stylistic Influence(s):	Ranch Style	
Construction Date:	1971 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	All windows replaced	
Integrity Notes:		
Effect:	None	

Resource No. 164Q	

Survey Date:	1/13/2023	
Resource No:	**164R (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	7777 E R. L. THORNTON FWY, 32.794944999999998/ -96.71058386	
Function/ Subfunction:	Residential	Mid-rise apartment complex
Form:	Multiple detached units	
Stylistic Influence(s):	Ranch Style	
Construction Date:	1971 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	All windows replaced	
Integrity Notes:		
Effect:	None	

Resource No. 164R	

Survey Date:	1/13/2023	
Resource No:	**164S (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	7777 E R. L. THORNTON FWY, 32.795034999999999/ -96.71106600000000285	
Function/ Subfunction:	Residential	Mid-rise apartment complex
Form:	Multiple detached units	
Stylistic Influence(s):	Ranch Style	
Construction Date:	1971 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	All windows replaced	
Integrity Notes:		
Effect:	None	

Resource No. 164S	

Survey Date:	12/27/2022	
Resource No:	**165A (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	2600 HIGHLAND RD, 32.795867000000001/ -96.707570000000004558	
Function/ Subfunction:	Residential	Mid-rise apartment complex
Form:	Multiple detached units	
Stylistic Influence(s):	Ranch Style	
Construction Date:	1965 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	All windows replaced	
Integrity Notes:		
Effect:	None	

Resource No. 165A (D5D6B3FB-C11E-4AED-9520-9E162BC5AC1E.jpeg)

Resource No. 165A (415FC10B-E308-49FB-98F8-CA07190BB4F2.jpeg)	

Survey Date:	1/13/2023	
Resource No:	**165B (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	2600 HIGHLAND RD, 32.795836000000001/ -96.708031000000005129	
Function/ Subfunction:	Residential	Mid-rise apartment complex
Form:	Multiple detached units	
Stylistic Influence(s):	Ranch Style	
Construction Date:	1965 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	All windows replaced	
Integrity Notes:		
Effect:	None	

Resource No. 165B	

Survey Date:	1/13/2023	
Resource No:	**165C (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	2600 HIGHLAND RD, 32.795527/ -96.708374000000006128	
Function/ Subfunction:	Residential	Mid-rise apartment complex
Form:	Multiple detached units	
Stylistic Influence(s):	Ranch Style	
Construction Date:	1965 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	All windows replaced	
Integrity Notes:		
Effect:	None	

Resource No. 165C	

Survey Date:	1/13/2023	
Resource No:	**165D (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	2600 HIGHLAND RD, 32.795231999999999/ -96.708251000000004127	
Function/ Subfunction:	Residential	Mid-rise apartment complex
Form:	Multiple detached units	
Stylistic Influence(s):	Ranch Style	
Construction Date:	1965 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	All windows replaced	
Integrity Notes:		
Effect:	None	

Resource No. 165D	

Survey Date:	1/13/2023	
Resource No:	**165E (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	2600 HIGHLAND RD, 32.795417/ -96.708093000000005125	
Function/ Subfunction:	Residential	Mid-rise apartment complex
Form:	Multiple detached units	
Stylistic Influence(s):	Ranch Style	
Construction Date:	1965 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	All windows replaced	
Integrity Notes:		
Effect:	None	

Resource No. 165E	

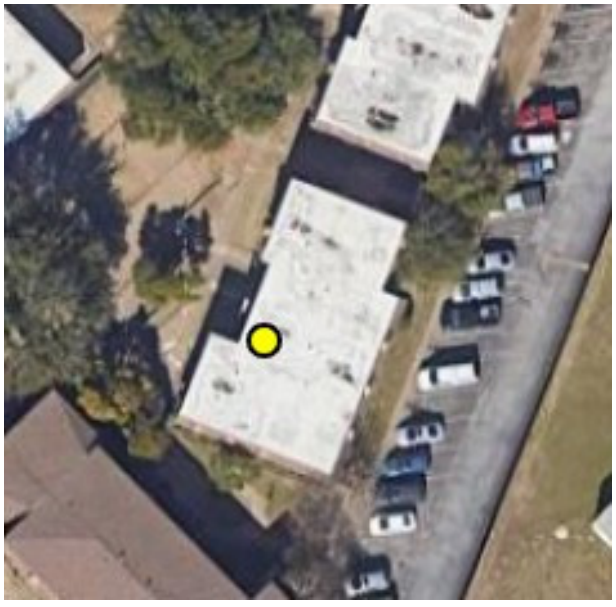
Survey Date:	1/13/2023	
Resource No:	**165F (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	2600 HIGHLAND RD, 32.795647000000002/ -96.707842999999997124	
Function/ Subfunction:	Residential	Mid-rise apartment complex
Form:	Multiple detached units	
Stylistic Influence(s):	Ranch Style	
Construction Date:	1965 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	All windows replaced	
Integrity Notes:		
Effect:	None	

Resource No. 165F	

Survey Date:	1/13/2023	
Resource No:	**165G (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	2600 HIGHLAND RD, 32.795439999999999/ -96.707564000000005122	
Function/ Subfunction:	Residential	Mid-rise apartment complex
Form:	Multiple detached units	
Stylistic Influence(s):	Ranch Style	
Construction Date:	1965 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	All windows replaced	
Integrity Notes:		
Effect:	None	

Resource No. 165G	

Survey Date:	1/13/2023	
Resource No:	**165H (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	2600 HIGHLAND RD, 32.795160000000003/ -96.707757000000001121	
Function/ Subfunction:	Residential	Mid-rise apartment complex
Form:	Multiple detached units	
Stylistic Influence(s):	Ranch Style	
Construction Date:	1965 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	All windows replaced	
Integrity Notes:		
Effect:	None	

Resource No. 165H	

Survey Date:	1/13/2023	
Resource No:	**165I (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	2600 HIGHLAND RD, 32.794916999999998/ -96.707928999999993120	
Function/ Subfunction:	Residential	Mid-rise apartment complex
Form:	Multiple detached units	
Stylistic Influence(s):	Ranch Style	
Construction Date:	1965 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	All windows replaced	
Integrity Notes:		
Effect:	None	

Resource No. 165I	

Survey Date:	12/27/2022	
Resource No:	**166 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	8001 E R. L. THORNTON FWY, 32.794893000000002/ -96.705001999999993560	
Function/ Subfunction:	Commercial	Office
Form:	Box	
Stylistic Influence(s):	Brutalist	
Construction Date:	1979 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 166 (0EC5D797-C5B0-4C00-952A-EEB12A74E2A1.jpeg)

Resource No. 166 (23477E9C-CE00-49E2-A0AA-462E5DB9BC81.jpeg)	

Survey Date:	12/27/2022	
Resource No:	**167 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	8021 E R. L. THORNTON FWY, 32.794857999999998/ -96.704634999999996561	
Function/ Subfunction:	Commercial	Office
Form:	Rectangular	
Stylistic Influence(s):	Mid-century Modern	
Construction Date:	1974 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 167 (75D4B3D9-7A99-4D0D-AB26-6DF7A801833E.jpeg)	

Resource No. 167 (F9BC6290-F2B0-47D9-BA33-500018C67ED0.jpeg)	

Survey Date:	12/27/2022	
Resource No:	**168 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	8035 E R. L. THORNTON FWY, 32.794910000000002/ -96.703732000000002562	
Function/ Subfunction:	Commercial	Office
Form:	Stacked Vertical Block	
Stylistic Influence(s):	Brutalist	
Construction Date:	1972 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 168 (3BB39B82-D723-473C-9FD4-5192E5429F29.jpeg)

Resource No. 168 (0636E6AB-F602-4A80-8550-CA8D5881D4DE.jpeg)	

Survey Date:	12/27/2022	
Resource No:	**169A (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	8045 E R. L. THORNTON FWY, 32.794710000000002/ -96.702725999999998563	
Function/ Subfunction:	Commercial	Auto Sales/Service
Form:	T-plan	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1970 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	Bankhead Highway (HHM, 2013) (Not Individually Eligible)	
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 169A (D2B78CE1-C980-49A4-8240-7F9318E9C213.jpeg)

Resource No. 169A (3B7CCABB-8246-419D-AE5F-C12183697CF6.jpeg)	

Survey Date:	12/27/2022	
Resource No:	**169B (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	8045 E R. L. THORNTON FWY, 32.794880999999997/ -96.702302000000003559	
Function/ Subfunction:	Commercial	Auto Sales/Service
Form:	Box	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1970 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	Bankhead Highway (HHM, 2013) (Not Individually Eligible)	
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 169B (3D5C2D2A-3F3C-4FDA-B40E-79077B841CD4.jpeg)

Survey Date:	12/27/2022	
Resource No:	**170 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	8105 E R. L. THORNTON FWY, 32.794741999999999/ -96.701794000000007564	
Function/ Subfunction:	Commercial	Warehouse
Form:	Box	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1977 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 170 (E7057F27-5A1C-4AD0-92E2-7D7DBDF68876.jpeg)

Resource No. 170 (BAB60EC3-1E79-4C8A-A26B-47B0D9C458B0.jpeg)	

Survey Date:	12/27/2022	
Resource No:	**171 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	8111 E R. L. THORNTON FWY, 32.794747999999998/ -96.701453999999998565	
Function/ Subfunction:	Commercial	Restaurant
Form:	Box	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1980 (In field estimate)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 171 (4AD49DA7-DB4B-4DE9-8AF7-845F8F9B2FB5.jpeg)

Resource No. 171 (E58DCFC4-9DA2-4140-940A-D3063BAD9AAB.jpeg)	
Resource No. 171 (28B22087-DB17-4DDA-93C4-ED6D560A111C.jpeg)	

Survey Date:	12/27/2022	
Resource No:	**172 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	8117 E R. L. THORNTON FWY, 32.794919/ -96.700948999999994566	
Function/ Subfunction:	Commercial	Restaurant
Form:	Box	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1978 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks integrity, Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	All windows replaced, Exterior wall materials replaced	
Integrity Notes:		
Effect:	None	

Resource No. 172 (20D06484-FC24-4B72-9723-FC66A64401C1.jpeg)	

Resource No. 172 (2E4D24BC-0CB1-47B4-BAAC-C3832CA93F67.jpeg)	

Survey Date:	1/25/2022 (HNTB)	
Resource No:	**173 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	2900 DAWSON ST, 32.779145/ -96.776920000000004533	
Function/ Subfunction:	Commercial	Warehouse
Form:	Commercial box	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1963 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	I-30 East Corridor Project (HNTB, Sept. 2022, Resource #5) (Not eligible)	
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks integrity, Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	Some doors replaced, Some windows replaced, Some windows enclosed	
Integrity Notes:		
Effect:	None	

Resource No. 173	***See photos on following pages.***

Survey Date:	01/25/2022
Resource No:	173 (HHM) [5 (HNTB)]
Project Location:	Dallas
Project Name and CSJ:	I-30 East Corridor Project; 0009-11-252
Address, Lat/Long:	2900 Dawson Street; 32.779122, -96.776928
Function/Sub-function:	Commercial
Construction Date:	1963
NRHP Eligibility:	Not Eligible
Integrity/Comments:	Resource 173 is a one-story commercial building with brick and concrete block exterior walls and a flat roof defined by ribbed coping that may be terracotta tile. There have been no additions made to the resource, but non-historic alterations have been made. The historic-age brick and concrete block have been painted, some windows and doors have been replaced with non-historic units, and some window openings have been bricked in. The northwest elevation features a non-historic rolling metal door, non-historic vinyl windows protected by metal bars, and a non-historic metal slab entry door. The southeast elevation is simpler and features what appear to be two, original, multi-light windows, a non-historic metal slab door, and two bricked-in window openings. The rear elevation has four small original windows and non-historic metal rolling door. The northeast elevation has no openings at all. Resource 173 retains integrity in the aspects of location, design, feeling and association. Resource 5 no longer retains integrity in the aspects of materials, workmanship, or setting. Because Resource 173 remains on its original site of construction, it retains integrity of location. Window and door replacement, the enclosure of some windows, and painting the historic-age exterior brick and concrete block have compromised the resource's integrity of materials and workmanship, but because there have been no additions or structural alterations, Resource 173 retains integrity in the aspect of design. Integrity of setting has been compromised by non-historic infill within its viewshed. Though the building has been altered, Resource 173 remains identifiable as a simple, mid-century commercial building and retains integrity in the aspects of feeling and association. Therefore, the resource is recommended not eligible under Criterion C. Resource 173 does not appear to have an association with significant historical events or individuals important to development of Dallas, Texas. Therefore, Resource 173 is recommended not eligible under Criteria A or B.

HNTB Draft HSSR September 2022

Resource 173 (HHM) [5 (HNTB)]: view of northwest and northeast elevations

HNTB Draft

Resource 173 (HHM) [5 (HNTB)]: view of northwest and southwest elevations

HNTB Draft

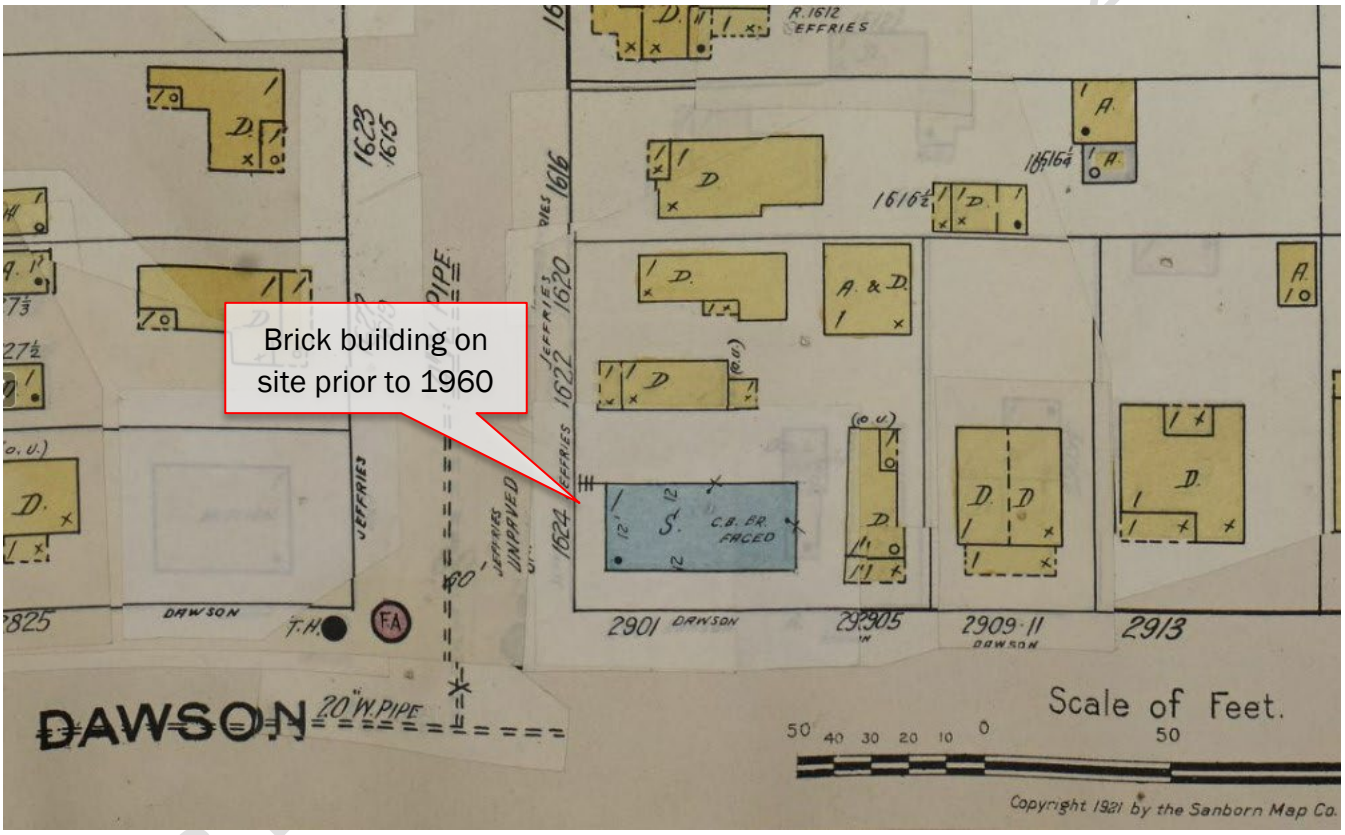
Survey Date:	1/25/2022 (HNTB)	
Resource No:	**174 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	1624 JEFFRIES ST, 32.779378000000001/ -96.777271999999996535	
Function/ Subfunction:	Commercial	Warehouse
Form:	Commercial box	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1950 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	I-30 East Corridor Project (HNTB, Sept. 2022, Resource #1) (Not eligible)	
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks integrity, Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	Exterior wall materials partially replaced, Doors replaced, Windows boarded	
Integrity Notes:		
Effect:	None	

Resource No. 174	***See photos on following pages.***

Survey Date:	01/25/2022
Resource No:	174 (HHM) [1 (HNTB)]
Project Location:	Dallas County
Project Name and CSJ:	I-30 East Corridor Project; 0009-11-252
Address, Lat/Long:	1624 Jeffries Street; 32.779353, -96.777266
Function/Sub-function:	Warehouse
Construction Date:	1960
NRHP Eligibility:	Not Eligible
Integrity/Comments:	Resource 174 is a one-story warehouse clad in metal that may be of historic-age on the southwest and northwest elevations, historic-age brick on the southeast elevation, and a combination of metal and brick on the northeast elevation. The shallow gabled roof is defined by simple metal coping. Two non-historic metal slab doors are present on the southwest elevation. Openings on the northwest elevation were difficult to identify due to the presence of a fence. The southeast elevation features a non-historic wooden slab door with a single light and a security bar door as the only functional opening. Also present is a large rectangular opening that has been partially covered with plywood, a single bricked-in door opening, and three bricked-in clerestory window openings. The northeast elevation features a non-historic metal slab entry door and non-historic rolling metal door at its western end. The eastern end, which is clad in brick, has one bricked-in door opening and one bricked in window opening. Historic aerial imagery suggests that this portion of the northeast elevation as well as the entirety of the southeast elevation may be the remnants of a building that was present on the parcel prior to 1960, indicating that the metal cladding may represent the c. 1960 expansion of an extant building rather than the construction of an entirely new one. Resource 174 retains integrity in the aspect of location only, because it has not been moved from its site of construction. Resource 174 does not retain integrity in the aspects of materials, design, workmanship, setting, feeling or association. Integrity of materials, design and workmanship have been compromised by the brick enclosure of several original window and door openings on the southeast and northeast elevations as well as the application of metal siding that is not definitively historic-age. Integrity

HNTB Draft HRSR September 2022

	of setting has been reduced by the construction of I-30 and non-historic infill within viewshed of the resource. Because the building has been altered and can no longer convey its historic form or use, it no longer retains integrity of feeling or association. Therefore, the resource is recommended not eligible under Criterion C. Resource 174 does not appear to have an association with significant historical events or individuals important to development of Dallas, Texas. Therefore, Resource 174 is recommended not eligible under Criteria A or B.



Resource 174 (HHM) [1 (HNTB)]: Future location of Resource 174 as shown on a 1921 Sanborn Map vol. 1 image updated and reissued in 1950, sheet 98

The east and north elevations of this building align with the size and location of exposed brick sections present on Resource 174 at the time of survey.

Source: Library of Congress

HNTB 2022

Resource 174 (HHM) [1 (HNTB)]: view northwest showing historic-age brick east elevation and potentially-historic-age metal on the south elevation

HNTB Draft HRSR 2022

Resource 174 (HHM) [1 (HNTB)]: view of southeast and northeast elevations showing historic-age brick walls and enclosed openings, note non-historic rolling metal door and entry door on northeast elevation

HNTB Draft

Survey Date:	1/25/2022 (HNTB)	
Resource No:	**175 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	2911 DAWSON ST, 32.779547999999998/ -96.777078000000003534	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1938 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	I-30 East Corridor Project (HNTB, Sept. 2022, Resource #2) (Not eligible)	
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance, Lacks integrity	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	Exterior wall materials replaced, Windows replaced, Door replaced, Porch posts replaced	
Integrity Notes:		
Effect:	None	

Resource No. 175	***See photos on following pages.***

Survey Date:	01/25/2022
Resource No:	175 (HHM) [2 (HNTB)]
Project Location:	Dallas
Project Name and CSJ:	I-30 East Corridor Project; 0009-11-252
Address, Lat/Long:	2911 Dawson Street; 32.779515, –96.777085
Function/Sub-function:	Residence
Construction Date:	1938
NRHP Eligibility:	Not Eligible
Integrity/Comments:	Resource 175 is a one-story, front gable residence that has been clad entirely in non-historic metal. The façade features a non-historic, metal shed roof porch that shelters an off-center, non-historic metal slab door and two non-historic vinyl windows covered by metal storm windows. The porch floor, foundation, and steps are poured concrete. The only other elevation visible from the right-of-way is the southwest elevation, and it does not appear to have any window or door openings. Resource 175 is surrounded by solid metal privacy fencing constructed of the same metal that is used to clad the exterior walls and roof of the residence. The fence does not allow physical or visual access to the other two elevations. The front yard of the resource is defined by the same metal fencing material and a gate. Resource 175 retains integrity in the aspect of location only, because it has not been moved from its original site of construction. Due to the replacement of all visible windows and doors with non-historic units as well as the application of non-historic metal siding to all visible elevations and the roof, Resource 175 no longer retains integrity in the aspects of materials, design, or workmanship. Resource 175 no longer retains integrity in the aspect of setting because the immediate setting has been compromised by the construction of a non-historic metal privacy fence, and the larger setting has been compromised by the construction of I-30 and non-historic infill within viewshed of the resource. Because no historic-age material is visible and the resource is no longer able to convey its historic nature, Resource 175 does not retain integrity in the aspects of feeling or association. Therefore, the resource is recommended not eligible under Criterion C. Resource 175 does not appear to have an association with significant historical events or individuals important to development of Dallas, Texas. Therefore, Resource 175 is recommended not eligible under Criteria A or B.

HNTB Draft HHSR Report April 2022

Resource 175 (HHM) [2 (HNTB)]: oblique view of façade, facing north

HNTB Draft

Resource 175 (HHM) [2 (HNTB)]: view of façade (southeast elevation), facing northwest

HNTB Draft

Survey Date:	12/27/2022	
Resource No:	**176 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	2913 DAWSON ST, 32.779651000000001/ -96.776965000000004515	
Function/ Subfunction:	Residential	Single-family house
Form:	Modified L-plan	
Stylistic Influence(s):	National Folk	
Construction Date:	1901 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	I-30 East Corridor Project (HNTB, Sept. 2022, Resource #3) (Not eligible)	
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks integrity	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	Some windows replaced, Some exterior wall materials replaced, Porch altered	
Integrity Notes:		
Effect:	None	

Resource No. 176 (111D29BF-0AD1-48DE-80DB-892BEC0DC146.jpeg)

Resource No. 176 (37D4DCC8-1A5D-469F-9F8E-AE0C03D45E44.jpeg)	

Survey Date:	01/25/2022
Resource No:	176 (HHM) [3 (HNTB)]
Project Location:	Dallas
Project Name and CSJ:	I-30 East Corridor Project; 0009-11-252
Address, Lat/Long:	2913 Dawson Street; 32.779627, -96.776975
Function/Sub-function:	Residence
Construction Date:	1901
NRHP Eligibility:	Not Eligible
Integrity/Comments:	Also see HHM 2023 survey form. Per HNTB: Resource 176 is a Queen Anne residence with a hipped roof and projecting front gable that creates shallow front porch. The front porch is sheltered by a hipped roof atop non-historic square posts. The exterior of Resource 176 is clad in what appears to be historic-age wood clapboard, though some aspects are repaired with non-historic plywood and non-historic clapboard. The gable end and the gabled dormer lack any ornamentation and appear to be clad in plywood or cement board. One window on the façade appears to be an original wood-framed one-over-one, but all other windows are non-historic vinyl replacements. The small window in the dormer has been covered with plywood. The front door is a non-historic metal slab with a non-historic metal and glass storm door. The front porch appears to have been reconstructed from non-historic treated lumber. A shed-roofed rear addition was visible from the ROW, and its exterior cladding materials do not appear to be historic-age. However, access to the rear of the house was not permitted, so the addition could not be dated. Resource 176 sits on a small grassy lawn with a concrete walkway and two brick and concrete ribbon driveways. The property is defined by a chain-link fence. Resource 176 retains integrity in the aspects of location and association because it has not been moved and is recognizable as a Queen Anne residence. Due to the construction of I-30, the loss of most of the houses that surrounded it during its historic period, and nearby non-historic infill, Resource 176 does not retain integrity of setting. Likewise, because of the replacement of most windows and the only visible door with non-historic units, the construction of a rear addition, the reconstruction of the front porch with incompatible materials, and the use of plywood as cladding, Resource 176 does not retain integrity of materials, design, or workmanship. Non-historic materials and a highly compromised setting negate the resource's integrity of feeling as an early 20th century home. Therefore, the resource is recommended not eligible under Criterion C. Resource 176 does not appear to have an association with significant historical events or individuals important to development of Dallas, Texas. Therefore, Resource 176 is recommended not eligible under Criteria A or B.

HNTB Draft HRSR – October 2022

Resource 176 (HHM) [3 (HNTB)]: view of façade (southeast elevation), facing north

HNTB Draft

Resource 176 (HHM) [3 (HNTB)]: oblique of façade and northeast elevation

HNTB Draft

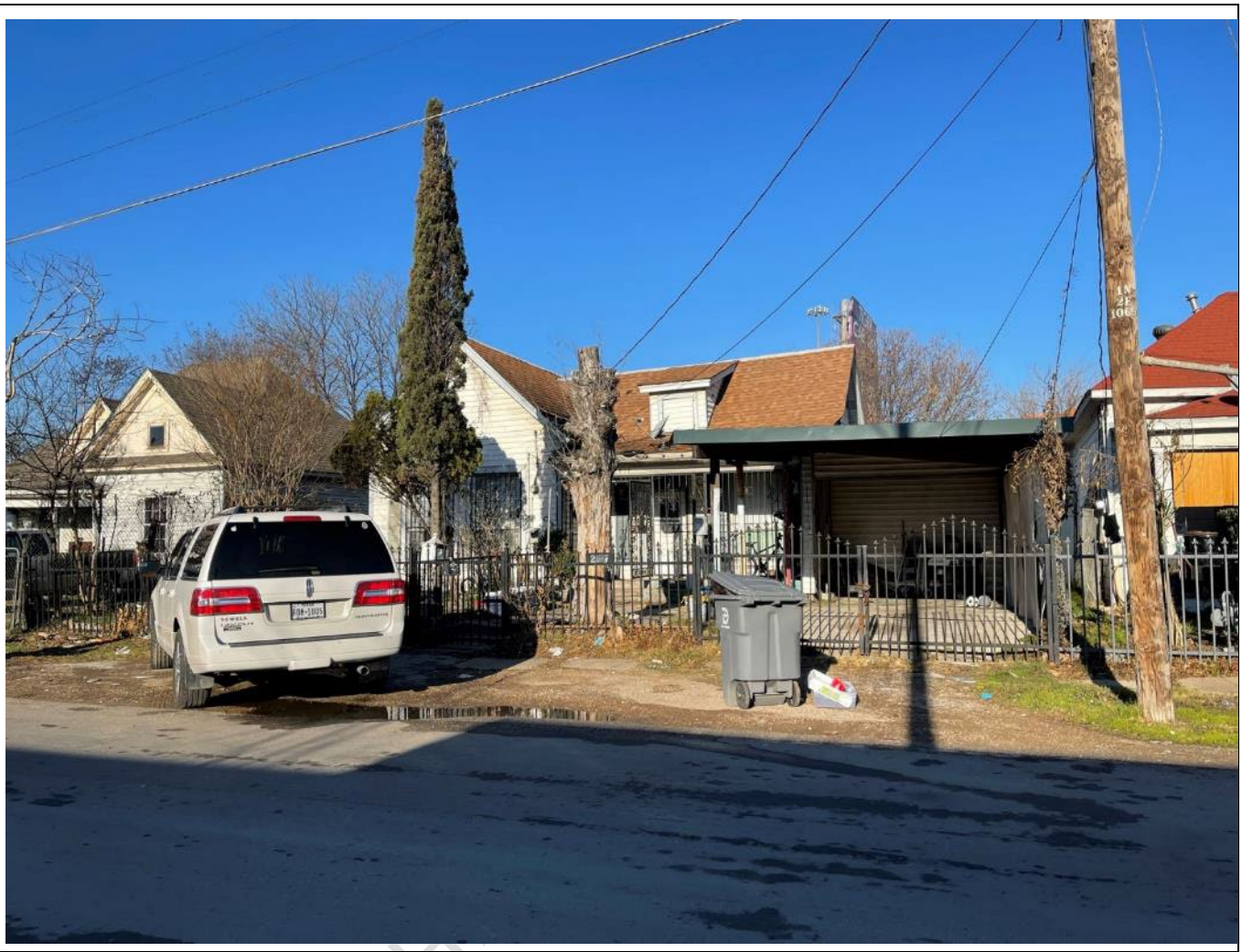
Survey Date:	1/25/2022 (HNTB)	
Resource No:	**177 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	2917 DAWSON ST, 32.779761999999998/ -96.776838999999995516	
Function/ Subfunction:	Residential	Single-family house
Form:	L-plan	
Stylistic Influence(s):	National Folk	
Construction Date:	1914 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	I-30 East Corridor Project (HNTB, Sept. 2022, Resource #4) (Not eligible)	
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks integrity	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	Some windows replaced, Doors replaced, Some exterior wall materials replaced	Side addition, Front carport addition, Dormer addition
Integrity Notes:		
Effect:	None	

Resource No. 177 (56DAE954-8F6C-4BF3-ADF4-3C28A7ED3610.jpeg)

Resource No. 177 (B9B056F4-A5E9-4750-91A4-F421495615F7.jpeg)	

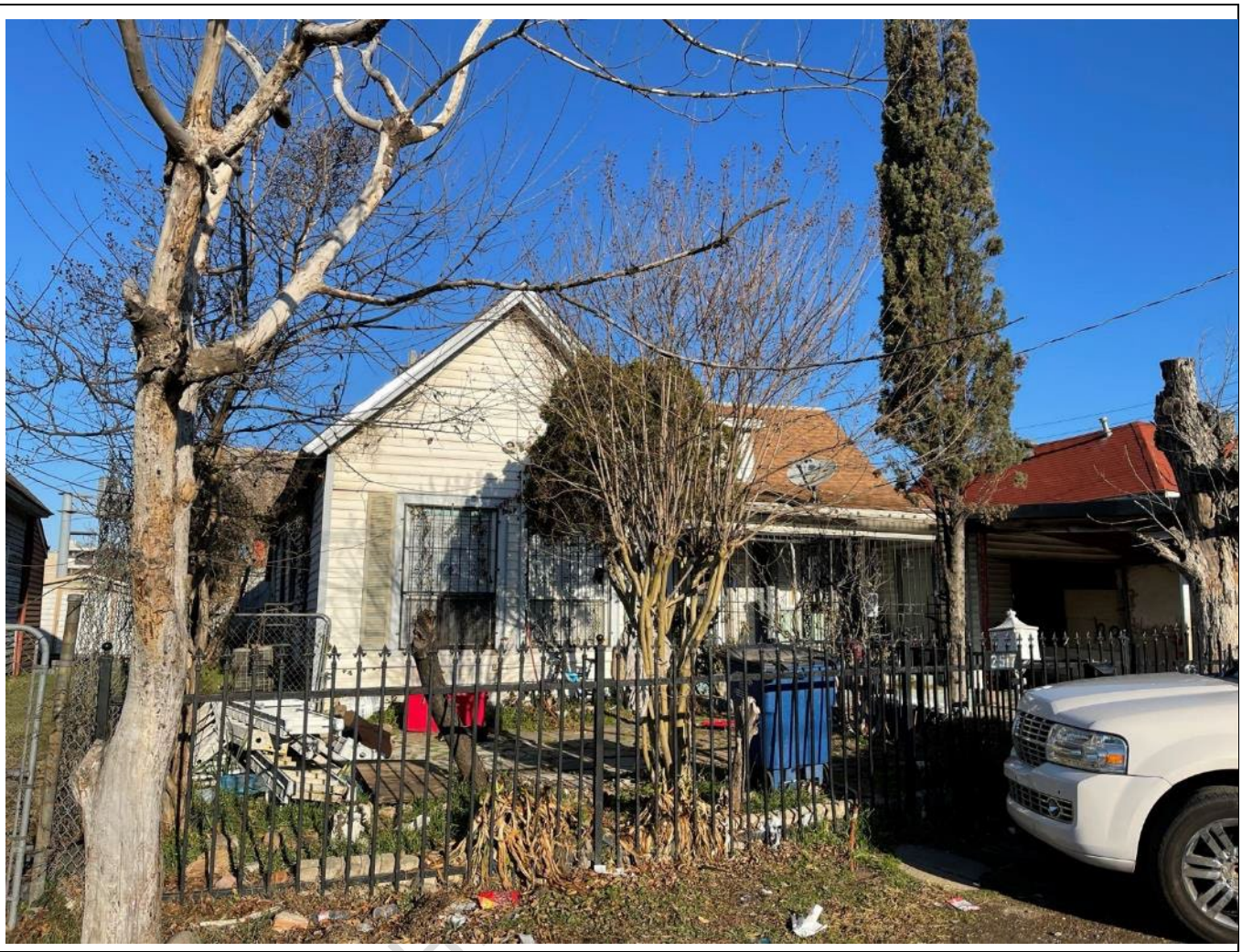
Survey Date:	01/25/2022
Resource No:	177 (HHM) [4 (HNTB)]
Project Location:	Dallas
Project Name and CSJ:	I-30 East Corridor Project; 0009-11-252
Address, Lat/Long:	2917 Dawson Street; 32.779723, -96.776865
Function/Sub-function:	Residence
Construction Date:	1914
NRHP Eligibility:	Not Eligible
Integrity/Comments:	Also see HHM 2023 survey form; per HNTB: Resource 177 is a single-story Gabled Wing Cottage with an asphalt shingle roof and non-historic vinyl siding. All visible windows are non-historic vinyl replacements, except the dormer window, which has been covered with vinyl siding. The front door is wooden with a single fixed light and may be of historic age but is not original to the house. There is a small front porch supported by full height and full width metal security bars. Resource 177 has had numerous historic-age and non-historic additions. Due to privacy fencing that surround the house, only one addition was visible during survey. The addition is a non-historic wood-frame, vinyl and plywood carport and storage aspect along the northeast elevation that extends all the way to the property line along Dawson Street. Resource 177 sits on a predominantly paved lot with a non-historic metal fence at the front. Resource 177 retains integrity in the aspect of location only, because it has not been moved. Due to the construction of I-30, the loss of most of the houses that surrounded it during its historic period, and nearby non-historic infill, Resource 177 does not retain integrity of setting. The numerous additions along with the comprehensive application of non-historic vinyl siding and installation of non-historic vinyl windows has negated integrity of materials, design, workmanship, as well as integrity of feeling or association to any historic time period or architectural type. Therefore, the resource is recommended not eligible under Criterion C. Resource 177 does not appear to have an association with significant historical events or individuals important to development of Dallas, Texas. Therefore, Resource 177 is recommended not eligible under Criteria A or B.

HNTB Draft HHSR September 2022



Resource 177 (HHM) [4 (HNTB)]: view of façade (southeast elevation) showing non-historic addition

HNTB Draft



Resource 177 (HHM) [4 (HNTB)]: oblique view of façade and southwest elevation

HNTB Draft

Survey Date:	12/28/2022	
Resource No:	**178 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	2921 DAWSON ST, 32.779848999999999/ -96.776748999999995513	
Function/ Subfunction:	Residential	Single-family house
Form:	Square plan hipped-roof	
Stylistic Influence(s):	National Folk	
Construction Date:	1901 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	IH 30 Canyon (2020) (Not Eligible)	
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks integrity	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	Some windows replaced, Exterior wall materials replaced, Porch enclosed	
Integrity Notes:		
Effect:	None	

Resource No. 178 (3898312C-B7B0-4EA2-81B1-D1D8EBA28547.jpeg)

Resource No. 178 (AC1982D9-91DD-4FAB-8986-221551604A2B.jpeg)	
Resource No. 178 (DDF96E4B-38B1-4541-836F-68B71436A032.jpeg)	

Survey Date:	8/5/2020
Resource No:	178 (HHM) [18 (I-30 Canyon 2020)]
Project Location:	Dallas County
Project Name and CSJ:	IH 30 Canyon Improvements Project; 0009-11-254
Address, Lat/Long:	2921 Dawson Street; 32.779883 -96.776777
Function/Sub-function:	Residence
Construction Date:	1901
NRHP Eligibility:	Not Eligible
Integrity/Comments:	Resource 178 is a single-story frame residence with a hipped asphalt shingle roof and central front gable. Exterior materials consist of non-historic vinyl siding and drop-siding. All visible windows appear to be non-historic replacements. The hipped roof front porch is partially enclosed and is supported by wood columns. The front door is non-historic. Based on the field survey and review of historic aerials and maps, the house features a side hip-roof addition and two rear gable roof additions. Resource 178 is one of a few residences remaining on this section of Dawson Street, and is primarily surrounded by mid-century commercial buildings. Resource 178 retains integrity of location and association. The resource has not moved from its site and still functions as a residence. Resource 178 does not retain integrity of design, materials, workmanship, feeling, or setting. The house appears to have once been a Queen Anne cottage but has been heavily modified and is no longer recognizable as a historic house type. Based on field observations, very little of the historic-age fabric of the house remains. The historic setting has been compromised with the introduction of mid-century commercial buildings and the house and surrounds no longer has the feeling of an early 20th century neighborhood. Resource 178 does not appear to have an association with significant historical events or individuals. Therefore, Resource 178 was not evaluated for the NRHP under Criteria A or B. The property was likely a Queen Anne Cottage when it was constructed but because of non- historic alterations, no longer reads as this type. The integrity of materials, workmanship, and design have been compromised by non-historic additions and alterations. Therefore, the resource is recommended not eligible under Criterion C.

I-30 Canyon HSR 2020

Resource 178 (HHM) [18 (I-30 Canyon 2020)]: view of southeast elevation, facing northwest

I-30 Canyon

Resource 178 (HHM) [18 (I-30 Canyon 2020)]: view of southeast and northeast elevations facing west

I-30 Canyon

Survey Date:	12/28/2022	
Resource No:	**179 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	1703 CHESTNUT ST, 32.779677999999997/ -96.776224999999997512	
Function/ Subfunction:	Commercial	Auto repair
Form:	Rectangular	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1948 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	IH 30 Canyon (2020) (Not Eligible)	
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance, Lacks integrity	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	Exterior materials replaced	Rear addition
Integrity Notes:	Setting lacks sufficient integrity for district eligibility	
Effect:	None	

Resource No. 179	***See photos on following pages.***

Survey Date:	8/5/20
Resource No:	179 (HHM) [19 (I-30 Canyon 2020)]
Project Location:	Dallas County
Project Name and CSJ:	IH 30 Canyon Improvements Project; 0009-11-254
Address, Lat/Long:	1703 Chestnut Street; 32.78218 -96.77126
Function/Sub-function:	Commerce/Automotive Repair Shop
Construction Date:	1948-1973
NRHP Eligibility:	Not Eligible
Integrity/Comments:	Setting lacks sufficient integrity for district eligibility, per HHM survey. Resource 179 is a one-story structural clay tile building with multiple additions. The building's primary, northeast-facing exterior is clad in metal panels. Non-historic fixed windows fenestrate this northeast elevation and a historic-age glass door in a steel frame serves as the building's primary entrance. Non-historic stone veneer surrounds this front entrance. Distinctive Streamline Moderne round corners at the building's northwest and northeast corners were left uncovered when the building's primary façade was covered in metal panels. These corner portions are clad in brick veneer and feature historic-age glass block. Metal panels cover the upper portion of the building's northwest exterior, with the historic-age brick veneer exposed on the wall's lower half. The building's southeast exterior is comprised of uncovered structural clay tile and the southwestern side is clad in non- historic metal panels. According to online DCAD records and a review of aerial photographs, the building's historic-age core was expanded to the southeast in 1956 and a rear addition was constructed in 1973. City directory entries for the resource indicate that it operated as a laundromat in the 1950s and 1960s and historic aerials show that the resource was surrounded primarily by residential buildings during this time period. A majority of these houses were demolished in the late 1960s and the area transitioned to more commercial businesses. Resource 179 retains integrity of location and association. The resource has not moved from its site and still functions as a commercial business. Resource 179 does not retain integrity of design, materials, workmanship, setting, or feeling. The building features several non- historic alterations including the addition of non-historic materials on the exterior. Due to the multiple expansions and alterations, the building no longer exhibits the feeling of an early mid-century commercial business. The setting has been altered with the demolition of the houses that historically surrounded the building and the area no longer reads as a residential neighborhood. Research did not reveal any associations between the resource and events or people that have made significant contributions to local or state history. Therefore, Resource 179 was not evaluated under Criteria A or B. The resource was evaluated under Criterion C for significance in the area of architecture. Although Resource 179 exhibits characteristics associated with the Streamline Moderne style of architecture (notably the rounded corners with glass block-filled fenestrations), changes to the building's other exterior elements have reduced integrity in the areas of workmanship, materials, and design. Additionally, the installation of non-historic metal panels and stone veneer has diminished the property's ability to convey historic significance. Therefore, Resource 179 is recommended not eligible under Criterion C.

I-30 Canyon Project 2020

Resource 179 (HHM) [19 (I-30 Canyon 2020)]: view west toward northeast elevation

I-30 Canyon

Resource 179 (HHM) [19 (I-30 Canyon 2020)]: view east toward northeast and northwest elevations

I-30 Canyon

Survey Date:	12/27/2022	
Resource No:	**180 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	1715 CHESTNUT ST, 32.779535000000003/ -96.775919999999999532	
Function/ Subfunction:	Commercial	Warehouse
Form:	Rectangular	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1955 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	I-30 East Corridor Project (HNTB, Sept. 2022, Resource #6) (Not eligible)	
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance, Lacks integrity	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	One door replaced, Canopy added	
Integrity Notes:	Setting lacks sufficient integrity for district eligibility	
Effect:	None	

Resource No. 180	***See photos on following pages.***

Survey Date:	01/25/2022
Resource No:	180 (HHM) [6 (HNTB)]
Project Location:	Dallas
Project Name and CSJ:	I-30 East Corridor Project; 0009-11-252
Address, Lat/Long:	1715 Chestnut Street; 32.779498, -96.775924
Function/Sub-function:	Warehouse
Construction Date:	c. 1952
NRHP Eligibility:	Not Eligible
Integrity/Comments:	Resource 180 is a one-story, front gabled commercial building clad in brick that has recently been painted. The roof features extremely shallow eaves with very small, exposed rafter tails that appear to be dowels rather than the more common square or rectangular rafter tails. The roof cladding material could not be seen. The building's façade is dominated by a large, non-historic metal rolling door at the center. A non-historic metal slab entry door and historic-age, metal framed, multi-light window are right of the rolling door; and a historic-age, metal framed, multi-light window sheltered beneath a large non-historic metal porch is to its left. Both windows are covered by non-historic plexiglass storm windows. The property is defined by a non-historic metal fence. A poured concrete driveway crosses the landscaped front lawn and directly abuts the rolling door. Resource 180 retains integrity in the aspects of location and setting because it has not been moved from its original site of construction and because its immediate viewshed is similar to that of its historic period. Resource 180 no longer retains integrity in the aspects of materials, design, workmanship, feeling, or association. Integrity of materials, design, and workmanship have been compromised by the non-historic application of paint to the exterior brick, the installation of a non-historic entry door and non-historic rolling door, and the addition of a prominent non-historic metal porch structure to the façade. These changes impact the resource's ability to convey its history as a mid-20th century commercial building, compromising its integrity of feeling and association. Therefore, the resource is recommended not eligible under Criterion C. Resource 180 does not appear to have an association with significant historical events or individuals important to development of Dallas, Texas. Therefore, Resource 180 is recommended not eligible under Criteria A or B.

HNTB Draft HHSR Report June 2022

Resource 180 (HHM) [6 (HNTB)]: view of façade (northeast elevation)

HNTB Draft

Survey Date:	12/27/2022	
Resource No:	**181 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	1719 CHESTNUT ST, 32.779305999999998/ -96.775964000000002531	
Function/ Subfunction:	Commercial	Warehouse
Form:	Rectangular	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1955 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	I-30 East Corridor Project (HNTB, Sept. 2022, Resource #7) (Not eligible)	
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance, Lacks integrity	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	Overhead door replaced	
Integrity Notes:	Setting lacks sufficient integrity for district eligibility	
Effect:	None	

Resource No. 181	***See photos on following pages.***

Survey Date:	01/25/2022
Resource No:	181 (HHM) [7 (HNTB)]
Project Location:	Dallas
Project Name and CSJ:	I-30 East Corridor Project; 0009-11-252
Address, Lat/Long:	1719 Chestnut Street (HHM) [HNTB 1087 Chestnut Street]; 32.779418, -96.775807
Function/Sub-function:	Warehouse
Construction Date:	1955
NRHP Eligibility:	Not Eligible
Integrity/Comments:	Resource 181 is a single story, brick commercial building with a flat roof defined by ribbed coping that may be terracotta tile. The façade is minimal and features a large, non-historic metal rolling door as well as a non-historic metal slab door flanked by large glass block windows that do not appear to be historic. The entry door is protected by a small, non-historic, semicircular awning. Also present on the façade are four prominent downspouts that do not appear to be historic-age. The property is defined by a non-historic metal fence. Resource 181 retains integrity in the aspects of location, setting, but no longer retains integrity in the aspects of materials, design, workmanship, feeling, or association. Resource 181 remains on its original site of construction, and its viewshed has changed little since its historic period, thus retaining integrity of location and setting. The replacement of all façade windows and doors with non-historic units as well as the installation of non-historic downspouts has compromised the resource's integrity of materials, design, and workmanship. The resource features prominent non-historic materials and is not readily identifiable as a mid-20th century commercial warehouse, and no longer retains integrity of feeling and association. Therefore, the resource is recommended not eligible under Criterion C. Resource 181 does not appear to have an association with significant historical events or individuals important to development of Dallas, Texas. Therefore, Resource 181 is recommended not eligible under Criteria A or B.

HNTB Draft HRSR September 2022

Resource 181 (HHM) [7 (HNTB)]: view of façade (northeast elevation)

HNTB Draft

Survey Date:	1/13/2023	
Resource No:	**182 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3101 OAK LN, 32.778101999999997/ -96.774460000000005138	
Function/ Subfunction:	Transportation	Rail network
Form:	Irregular	
Stylistic Influence(s):	No stylistic influences visible	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance, Lacks integrity	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	Routine rail replacement	Multiple spur realignments
Integrity Notes:	Setting lacks sufficient integrity for district eligibility	
Effect:	None	

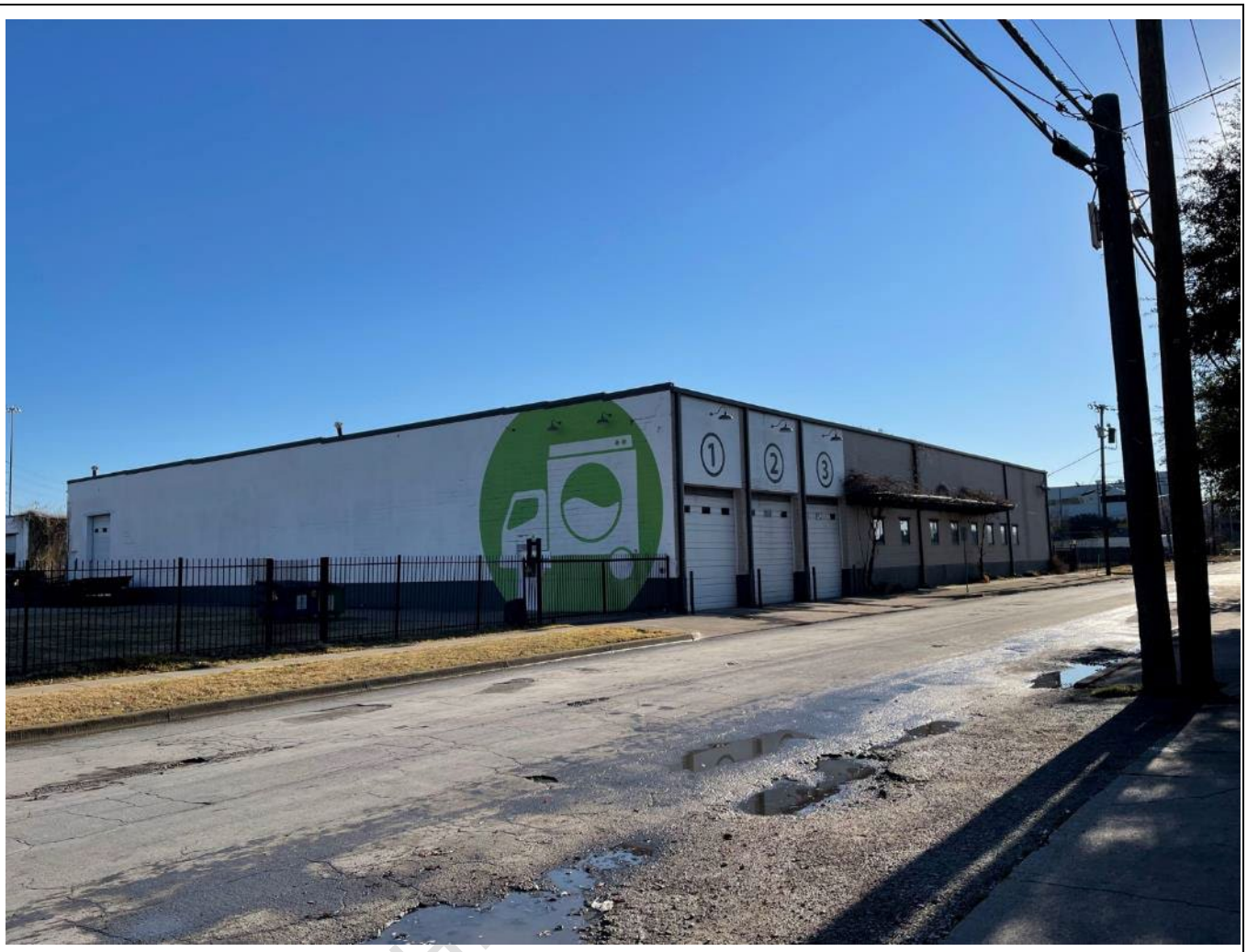
Resource No. 182 (GSCF.jpg)	

Survey Date:	12/27/2022	
Resource No:	**183A (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	1818 CHESTNUT ST, 32.779595999999998/ -96.775079000000005530	
Function/ Subfunction:	Commercial	Warehouse
Form:	Rectangular	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1965 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	I-30 East Corridor Project (HNTB, Sept. 2022, Resource # 8a) (Not eligible)	
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance, Lacks integrity	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	Doors replaced, Windows replaced	
Integrity Notes:	Setting lacks sufficient integrity for district eligibility	
Effect:	None	

Resource No. 183A	***See photos on following pages.***

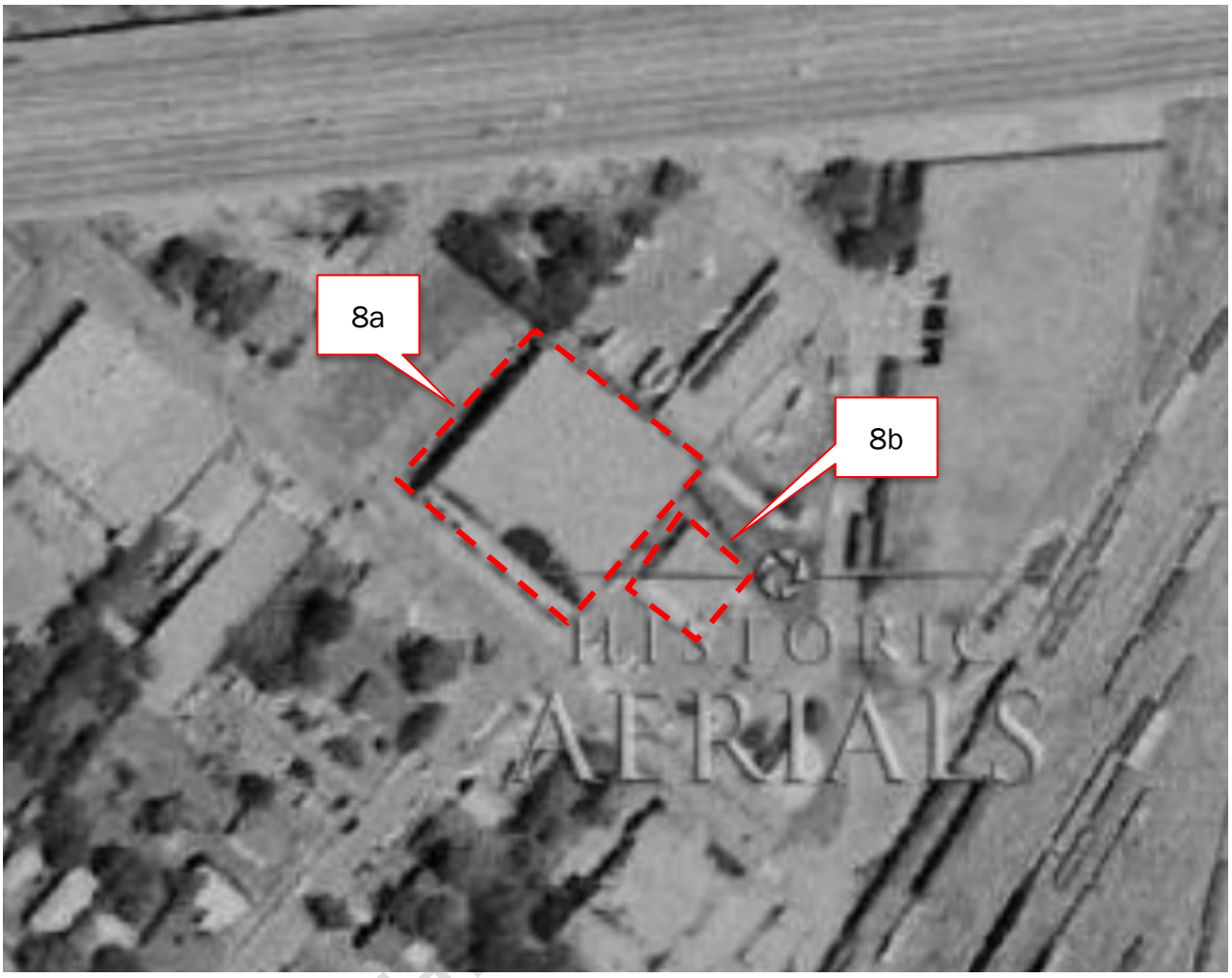
Survey Date:	01/25/2022
Resource No:	183A (HHM) [8a (HNTB)]
Project Location:	Dallas
Project Name and CSJ:	I-30 East Corridor Project; 0009-11-252
Address, Lat/Long:	1818 Chestnut Street; 32.779539, -96.775080
Function/Sub-function:	Light Industrial
Construction Date:	1965
NRHP Eligibility:	Not Eligible
Integrity/Comments:	Also see HHM 2023 survey form; per HNTB: Resource 183A is a large, one- to one-and-a-half-story brick and concrete block warehouse with a flat roof defined by simple metal coping. Portions of the exterior has been non-historically painted white and grey with a logo mural on the northwest elevation. The façade faces Chestnut Street and features three non-historic metal rolling doors with three fixed lights each as well as a row of small, square, non-historic, fixed, aluminum-framed windows, the majority of which are sheltered by a non-historic wooden arbor with vegetation. Non-historic metal gutters and downspouts are present on the façade but were not noted on any the other visible elevations. Portions of the façade are unpainted, and the historic-age brick is light in color. The northwest elevation features a single, non-historic metal rolling door at its northern corner. The property is defined by a non-historic metal fence that limited access to the other elevations. The visible portion of the southeast elevation was unpainted. A single, metal slab door occupies the northern corner. The door is sheltered by a flat roofed, metal breezeway that connects the main warehouse to a smaller, one-story brick building (Resource 183B). Resource 183A retains integrity in the aspects of location and setting because it has not been moved from its original site of construction and because its viewshed has not changed significantly since its historic period. Resource 183 does not retain integrity in the aspects of materials, design, workmanship, feeling, or association. The replacement of all windows and doors with non-historic units on the main building as well as the application of non-historic paint and an arbor have compromised the resource's integrity of materials, design, and workmanship. They have also obscured the historic nature of the building such that it can no longer convey any integrity of feeling or association as a mid-20th century resource. Therefore, the resource is recommended not eligible under Criterion C. Resource 183A does not appear to have an association with significant historical events or individuals important to development of Dallas, Texas. Therefore, Resource 183A is recommended not eligible under Criteria A or B.

HNTB DRAFT FOR SHPO September 2022



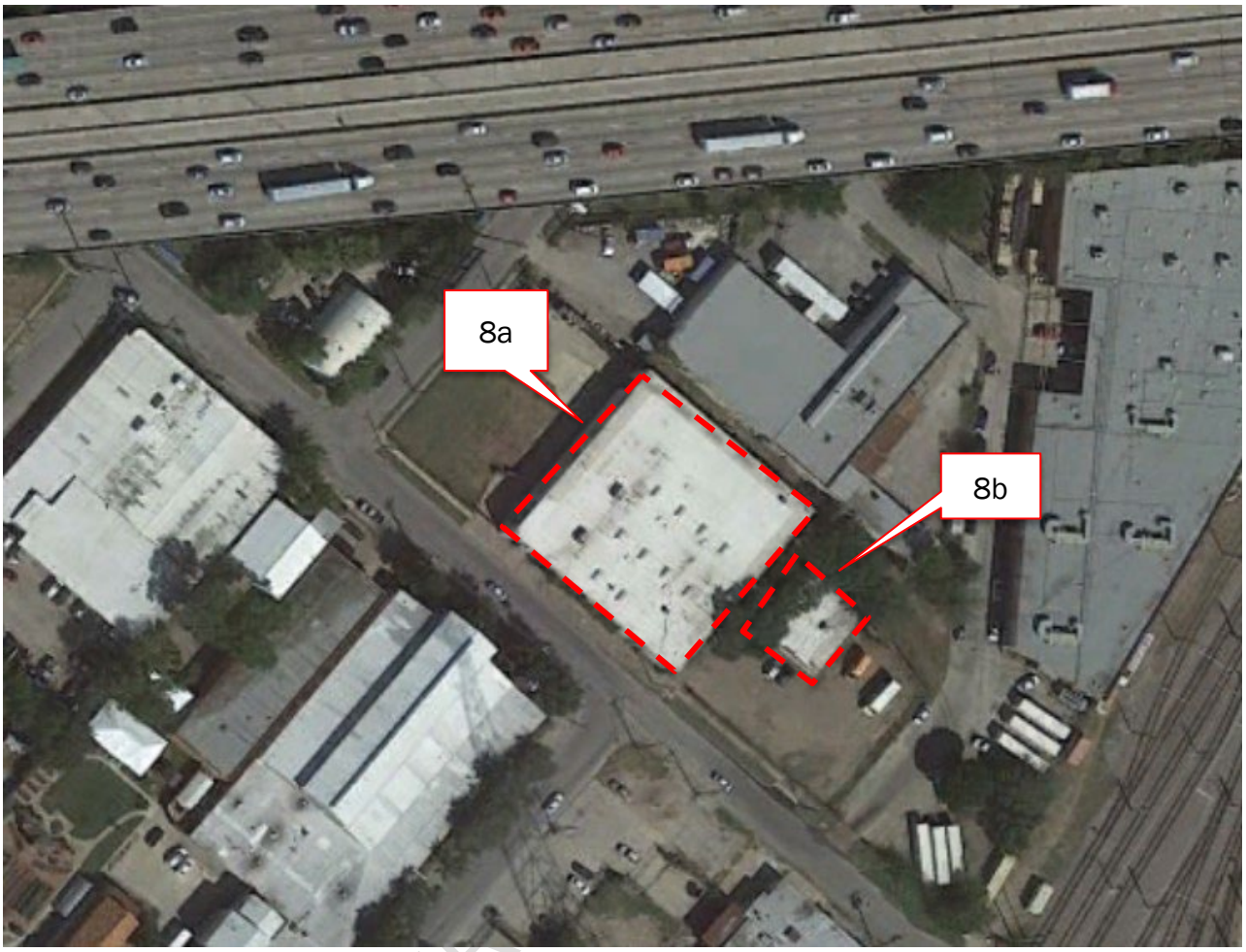
Resource 183A (HHM) [8a (HNTB)]: view of façade (southwest elevation) oblique showing northwest elevation mural, non-historic rolling doors, and non-historic arbor

HNTB Draft



Resources 183A (HHM) [8a (HNTB)] and 183B (HHM) [8b (HNTB)]: 1968 aerial photograph (source: www.historicaerials.com)

HNTB Draft



Resources 183A (HHM) [8a (HNTB)] and 183B (HHM) [8b (HNTB)]: 2021 aerial photograph (source: Google Earth Pro)

HNTB Draft

Survey Date:	12/27/2022	
Resource No:	**183B (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	1818 CHESTNUT ST, 32.779395000000001/ -96.774703000000002529	
Function/ Subfunction:	Commercial	Office
Form:	Commercial box	
Stylistic Influence(s):	Mid-century Modern	
Construction Date:	1965 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	I-30 East Corridor Project (HNTB, Sept. 2022, Resource #8b) (Not eligible)	
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance, Lacks integrity	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		
Integrity Notes:	Setting lacks sufficient integrity for district eligibility	
Effect:	None	

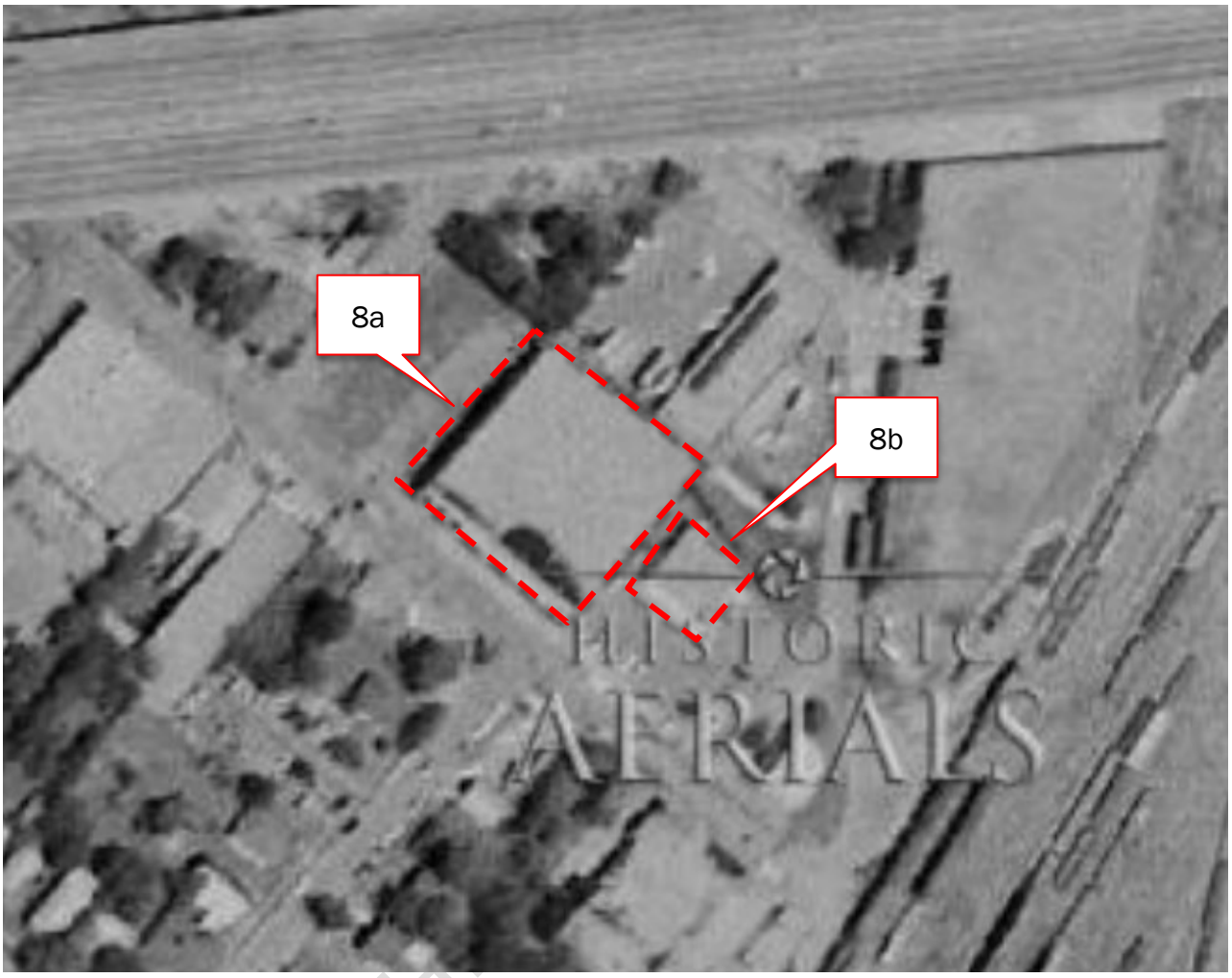
Resource No. 183B	***See photos on following pages.***

Survey Date:	01/25/2022
Resource No:	183B (HHM) [8b (HNTB)]
Project Location:	Dallas
Project Name and CSJ:	I-30 East Corridor Project; 0009-11-252
Address, Lat/Long:	1818 Chestnut Street; 32.779539, -96.775080
Function/Sub-function:	Light Industrial
Construction Date:	1965
NRHP Eligibility:	Not Eligible
Integrity/Comments:	Also see HHM 2023 survey form; per HNTB: Resource 183B is a small, one-story brick building connected to Resource 8a by a metal breezeway. The only openings visible on Resource 183B are two doors on the southeast elevation separated by a ribbon band of windows. Because the property was protected by a fence, the age and material of the doors and windows could not be ascertained. Resource 183B retains integrity in the aspects of location and setting because it has not been moved from its original site of construction and because its viewshed has not changed significantly since its historic period. Additionally, Resource 183B has not sustained any major non-historic alterations and maintains integrity in the aspects of design, feeling and association. Integrity of materials and workmanship could not be determined due to a fence that prohibited access to evaluate the windows and doors that may be non-historic replacements. Though Resource 183B retains five of the seven aspects of integrity, it does not possess the significance necessary to qualify for the NRHP. Therefore, the resource is recommended not eligible under Criterion C. Resource 183B does not appear to have an association with significant historical events or individuals important to development of Dallas, Texas. Therefore, Resource 183 is recommended not eligible under Criteria A or B.

HNTB Draft HRSR September 2022

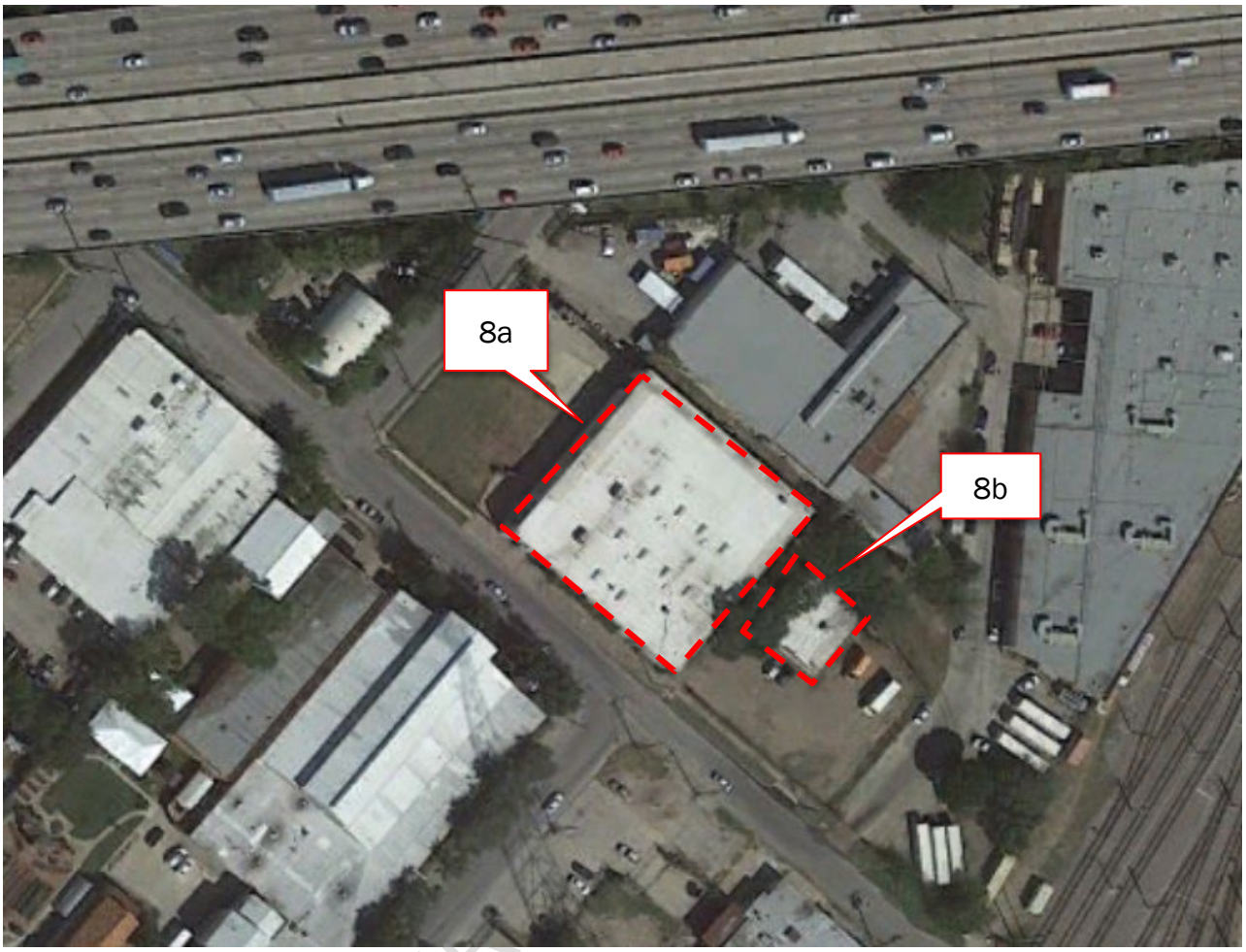
Resource 183B (HHM) [8b (HNTB)]: view north of southeast elevation and secondary building

HNTB Draft



Resources 183A (HHM) [8a (HNTB)] and 183B (HHM) [8b (HNTB)]: 1968 aerial photograph (source: www.historicaerials.com)

HNTB Draft



Resources 183A (HHM) [8a (HNTB)] and 183B (HHM) [8b (HNTB)]: 2021 aerial photograph (source: Google Earth Pro)

HNTB Draft

Survey Date:	8/5/2020 (Canyon)	
Resource No:	**184 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3001 HICKORY ST, 32.779940000000003/ -96.775784000000002511	
Function/ Subfunction:	Commercial	Auto repair
Form:	Quonset hut	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1948 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	IH 30 Canyon (2020) (Not Eligible)	
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		
Integrity Notes:	Setting lacks sufficient integrity for district eligibility	
Effect:	None	

Resource No. 184	***See photos on following pages.***

Survey Date:	8/5/20
Resource No:	184 (HHM) [20 (I-30 Canyon 2020)]/Hickory Street Quonset Hut
Project Location:	Dallas County
Project Name and CSJ:	IH 30 Canyon Improvements Project; 0009-11-254
Address, Lat/Long:	3001 Hickory Street; 32.77993 -96.77578
Function/Sub-function:	Commercial/Automotive Repair Shop
Construction Date:	1948
NRHP Eligibility:	Not Eligible
Integrity/Comments:	Setting lacks sufficient integrity for district eligibility, per HHM Survey. Resource 184/Hickory Street Quonset Hut is an arch-roofed building covered in corrugated steel panels. The building features historic-age steel-framed awning windows on its southwest side. Window openings on the building's southeast exterior are covered by metal panels and a shed-roofed projection joins the building on this southeast side. A historic-age metal door beneath an awning serves as a pedestrian entrance on the building's northwest side and a garage bay is located on the building's northeast side. In an informal interview, the current property owner indicated that the materials and design of the resource have remained unchanged since its construction. Resource 184/Hickory Street Quonset Hut retains integrity of location, design, materials, workmanship, feeling, setting, and association. The resource has not been moved and has not been altered. Although the resource has not been moved and has not been altered, Quonset huts are relatively common mid-century resources. Research did not reveal any associations between this resource and events or people that have made significant contributions to local or state history. Therefore, Resource 184/Hickory Street Quonset Hut is recommended not eligible under Criteria A or B. The resource was evaluated under Criterion C for significance in the area of architecture and is recommended not eligible for inclusion on the NRHP. Although the resource retains material integrity, its design is common and utilitarian, and it lacks the historical context that would render it eligible for the NRHP.

I-30 Canyon HRSR 2020

Resource 184 (HHM) [20 (I-30 Canyon 2020)] /Hickory Street Quonset Hut: view east toward northwest and southwest elevations

I-30 Canyon

Resource 184 (HHM) [20 (I-30 Canyon 2020)] /Hickory Street Quonset Hut: view south toward northeast elevation

I-30 Canyon

Resource 184 (HHM) [20 (I-30 Canyon 2020)] /Hickory Street Quonset Hut: view north toward southwest and southeast elevations

I-30 Canyon

Survey Date:	8/5/2020 (Canyon)	
Resource No:	**185 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	1840 CHESTNUT ST, 32.779795/ -96.774079509	
Function/ Subfunction:	Industrial	Warehouse
Form:	Linear	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1956 (Appraisal district)	
Occupants/ History:	Cullum & Boren (whse) (1961-65); Stanley Drug Co (1970)/ ""Cullum & Boren was a sporting goods store that first opened downtown in 1902 [relocated to North Park Mall when it opened in 1966]...closed in 1981."" (Polk's City Directory, https://northparkcenter.com/blog/from-the-archives-10-original-tenants)	
Prior Designation:		
Prior Documentation:	IH 30 Canyon (2020) (Not Eligible)	
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		
Integrity Notes:	Setting lacks sufficient integrity for district eligibility	
Effect:	None	

Resource No. 185 (9DB6C1BF-1583-4DC9-A89B-BA36C174BF89.jpeg)	
Resource No. 185 (472A8571-6288-4701-8A1C-5FE13DE836EE.jpeg)	

Survey Date:	8/5/20
Resource No:	185 (HMM) [22 (I-30 Canyon 2020)]
Project Location:	Dallas County
Project Name and CSJ:	IH 30 Canyon Improvements Project; 0009-11-254
Address, Lat/Long:	1840 Chestnut Street; 32.77984 -96.77394
Function/Sub-function:	Commercial/Warehouse
Construction Date:	1956
NRHP Eligibility:	Not Eligible
Integrity/Comments:	Setting lacks sufficient integrity for district eligibility, per HHM survey. Resource 185 is a polygonal building standing on a concrete slab and covered in brick veneer. Access to the resource, currently occupied by the Dallas Police Department's property division, was limited due to locked fences. Non-historic metal doors cover pedestrian entrances along the building's southern exterior. A metal rolling door covers a garage bay on the building's west side. The west side of the building also includes a recessed loading dock covered partially by a metal roof. Garage bays on this loading dock are obscured by vinyl curtains and windows within the recess are obscured by metal security bars. The resource stands in a commercial section of Dallas with warehouses and rail lines occupying adjacent lots. Resource 185 possesses integrity in the areas of location and setting. The building sits in its original location in a commercial setting. Changes to the property's historic-age fenestrations appear to have been minimal, allowing the building to retain integrity in the areas of design, materials, and workmanship. The building retains integrity in the areas of feeling and association as it continues to evoke a sense of 1950s commercial life in Dallas. Despite its intact integrity, Resource 185 does not have the ability to convey significance as it does not represent an important trend in Texas architecture. Research did not reveal any associations between the resource and events or people that have made significant contributions to local or state history. Therefore, Resource 185 is recommended not eligible under Criteria A or B. The resource was evaluated under Criterion C for significance in the area of architecture and is recommended not eligible for inclusion on the NRHP. Resource 185 does not represent an academic type or style, nor does it embody characteristics of a distinctive time period or method of construction.

I-30 Canyon HRSR 2020

Resource 185 (HMM) [22 (I-30 Canyon 2020)]: view northeast toward south and west elevations

I-30 Canyon

Resource 185 (HMM) [22 (I-30 Canyon 2020)]: view east toward loading dock

I-30 Canyon

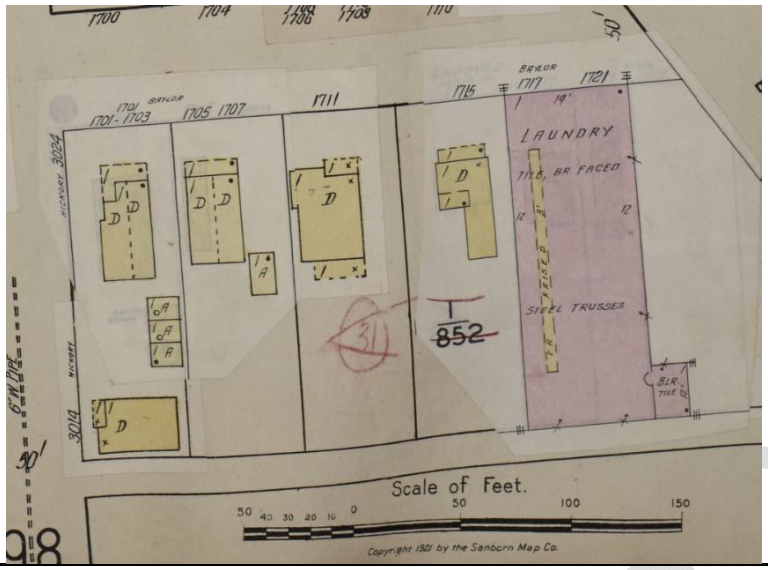
Survey Date:	12/28/2022	
Resource No:	**186 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	1717 BAYLOR ST, 32.779881000000003/ -96.774671999999995510	
Function/ Subfunction:	Commercial	Warehouse
Form:	T-shaped	
Stylistic Influence(s):	Streamline Moderne	
Construction Date:	1947 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	IH 30 Canyon (2020) (Not Eligible)	
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance, Lacks integrity	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	Awnings added	Side additions
Integrity Notes:	Alterations likely within period of significance; Setting lacks sufficient integrity for district eligibility	
Effect:	None	

Resource No. 186 (67D67D01-53CA-402E-981B-9C374FAE441B.jpeg)

Resource No. 186 (4449E57E-A92E-49E6-B9E6-EFCD8B05C91F.jpeg)	
Resource No. 186 (5909D767-5B7A-4FC9-91FD-1D235A4AA032.jpeg)	

Survey Date:	8/4/20
Resource No:	186 (HHM) [21 (I-30 Canyon 2020)]
Project Location:	Dallas County
Project Name and CSJ:	IH 30 Canyon Improvements Project; 0009-11-254
Address, Lat/Long:	1717 Baylor Street; 32.77982 -96.77463
Function/Sub-function:	Commerce/Warehouse
Construction Date:	1947-1978
NRHP Eligibility:	Not Eligible
Integrity/Comments:	Alterations likely within period of significance; Setting lacks sufficient integrity for district eligibility, per HHM survey. The historic-age core of Resource 186 is a one-story structural clay tile building with a brick veneer on its southwest side. The building's northeast-facing primary façade and northwest exterior are clad in non-historic stucco. A Sanborn Fire Insurance map dated 1950 shows that this historic-age core was used as a laundry (see photographs). Historic-age fixed windows and a glass door in an aluminum frame fenestrate the historic-age core's northeast exterior while awning windows in steel frames are located along its northwest and southeast sides. Additions to the building's historic-age core include a concrete block wing extending from the southwest corner and a stucco-clad building that joins the core on its northwest side. DCAD records indicate that the concrete block addition was constructed in 1960 while the stucco portion was added in 1978. The concrete block addition features a shed roofed addition clad in corrugated metal and historic-age awning windows in steel frames. The stucco-clad addition also features awning windows and a garage bay with a rolling metal door. The resource stands in a commercial section of Dallas with historic-age warehouses and residences occupying nearby lots. Resource 186 retains integrity in the areas of location and setting. The building stands in its original location in a commercial and residential setting. Integrity in the area of design, materials, and workmanship has been reduced to the construction of a non-historic addition and the application of stucco to the historic-age core's primary façade. Design changes to the building have further reduced integrity in the areas of feeling and association. The resource no longer evokes a sense of mid-twentieth century commercial life nor does it retain a direct link to the past. Research did not reveal any associations between the resource and events or people that have made significant contributions to local or state history. Therefore, Resource 186 is recommended not eligible under Criteria A or B. The resource was evaluated under Criterion C for significance in the area of architecture and is recommended not eligible for inclusion on the NRHP. Resource 186 does not represent an academic type or style, nor does it embody characteristics of a distinctive time period or method of construction.

I-30 Canyon NRHP 2020



Resource 186 (HHM) [21 (I-30 Canyon 2020)]: Detail of 1950 Sanborn map

Source: Sanborn Fire Insurance Map from Dallas, Dallas County, Texas. Sanborn Map Company, - May 1950 Vol. 1, 1950. Map. https://www.loc.gov/item/sanborn08492_013/ (Accessed September 2, 2020).

Resource 186 (HHM) [21 (I-30 Canyon 2020)]: view west toward northeast and southeast elevations of historic-age core

Resource 186 (HHM) [21 (I-30 Canyon 2020)]: view west toward northeast and southeast elevations of 1960 addition

I-30 Canyon

Survey Date:	12/28/2022	
Resource No:	**187 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	555 2ND AVE, 32.778827/ -96.770341999999999507	
Function/ Subfunction:	Transportation	Railroad
Form:	Linear	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1875 (Historic maps, City historic context statements)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance, Lacks integrity	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	Routine maintenance of tracks	
Integrity Notes:	Setting lacks sufficient integrity for district eligibility	
Effect:	None	

Resource No. 187 (1836E4D5-0BEB-4037-B3DC-16522DEF7A17.jpeg)

Resource No. 187 (4A8547EC-46F4-4EEE-9830-D4CF571E74A2.jpeg)	
Resource No. 187 (DE2838F7-5A8D-4E5E-8A14-9C14AD8121E2.jpeg)	

Survey Date:	12/28/2022	
Resource No:	**188 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	725 3RD AVE, 32.779620000000001/ -96.769743000000005505	
Function/ Subfunction:	Industrial	Warehouse
Form:	Massed block	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1954 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance, Lacks integrity	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	All windows replaced, Doors replaced	Side addition
Integrity Notes:	Setting lacks sufficient integrity for district eligibility	
Effect:	None	

Resource No. 188 (74BCCAA8-73F0-40CF-B15D-E8DBB1916135.jpeg)

Survey Date:	8/5/2020 (Canyon)	
Resource No:	**189 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	700 3RD AVE, 32.780493/ -96.770266000000007504	
Function/ Subfunction:	Commercial	Auto repair
Form:	Rectangular	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1962 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	IH 30 Canyon (2020) (Not Eligible)	
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		
Integrity Notes:	In disrepair	
Effect:	None	

Resource No. 189 (7243E814-D8CB-454D-8CE3-4E37AB26B020.jpeg)

Resource No. 189 (FCC80B83-3116-4E54-B487-DE45D91A0F46.jpeg)	

Survey Date:	8/5/20
Resource No:	189 (HHM) [24 (I-30 Canyon 2020)]
Project Location:	Dallas County
Project Name and CSJ:	IH 30 Canyon Improvements Project; 0009-11-254
Address, Lat/Long:	700 3rd Avenue; 32.78060 -96.77023
Function/Sub-function:	Commercial/Automotive Repair Shop
Construction Date:	1962; 1970
NRHP Eligibility:	Not Eligible
Integrity/Comments:	Resource 189 consists of a prefabricated metal building (Resource 189) and a concrete block outbuilding (Resource 189). The windowless prefabricated building is in use as an auto-repair shop while the semi-ruinous outbuilding is used for storage. The property's buildings sit in an unpaved lot in an industrial and commercial sectionof Dallas. Resource 189 retains integrity in the areas of location and setting only. The buildings stand in their original location in a commercial and industrial setting. Changes to the outbuilding at Resource 189 have impacted the property's overall integrity in the areas of design, materials, workmanship, feeling and association. The property does not embody a distinct time period or method of construction nor does it evoke a sense of mid-twentieth century commercial life in Dallas. Resource 189 is not recommended eligible for inclusion on the NRHP under Criterion A in the area of commerce. Due to their lack of integrity, the buildings on this property cannot convey significance as commercial properties. Likewise, the property cannot convey architectural significance under Criterion C. Detailed descriptions, developmental histories, integrity discussions, and evaluations of the property's two individual resources can be found below.

I-30 Canyon HRSR 2020

Resource 189 (HHM) [24 (I-30 Canyon 2020)]: Site Plan
Source: Google Earth Pro, image dated 2020 (accessed 8/12/2020)

I-30 Canyon

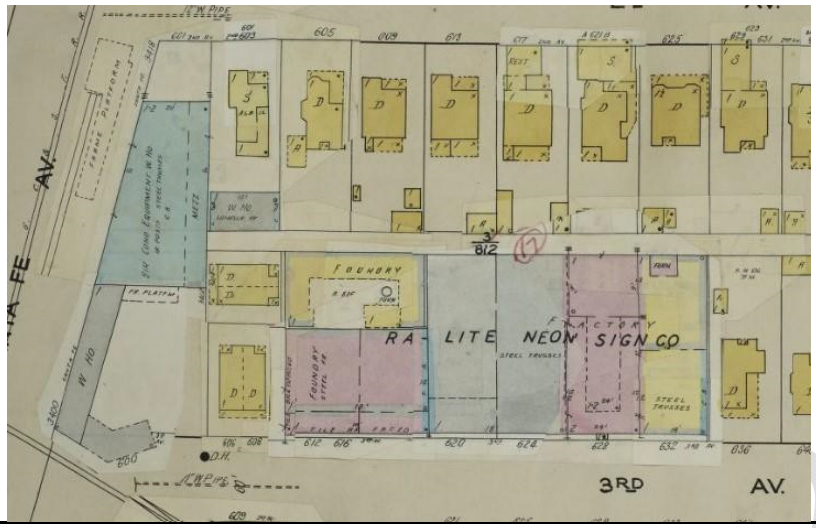
Survey Date:	8/5/2020 (Canyon)	
Resource No:	**190 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	636 3RD AVE, 32.780593000000003/ -96.770756000000006506	
Function/ Subfunction:	Industrial	Warehouse
Form:	Irregular	
Stylistic Influence(s):	Streamline Moderne	
Construction Date:	1940 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	IH 30 Canyon (2020) (Not Eligible)	
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks integrity	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	Part of building demolished	
Integrity Notes:	Setting lacks sufficient integrity for district eligibility	
Effect:	None	

Resource No. 190 (6CC2F59D-C56A-4642-8A9C-8256E4695462.jpeg)

Resource No. 190 (2645B31C-8303-4F12-95F7-B8A3FF9CDE9B.jpeg)	
Resource No. 190 (BB5AB41C-8DFA-482E-A185-163F274E909D.jpeg)	

Survey Date:	8/4/20
Resource No:	190 (HHM) [23 (I-30 Canyon 2020)]
Project Location:	Dallas County
Project Name and CSJ:	IH 30 Canyon Improvements Project; 0009-11-254
Address, Lat/Long:	636 3rd Avenue; 32.78057 -96.77076
Function/Sub-function:	Industrial/Shop
Construction Date:	1940
NRHP Eligibility:	Not Eligible
Integrity/Comments:	Setting lacks sufficient integrity for district eligibility, per HHM survey. Resource 190 is a truncated portion of a larger building standing on a concrete slab foundation. A 1950 Sanborn Fire Insurance map(see photographs) shows that the larger Ra-Lite Neon Sign Company building stood along this portion of 3rd Avenue in the mid- twentieth century. A 1956 historic aerial photograph shows that the building was extant and complete, while an aerial from 1968 shows that most of the building had been demolished to make way for IH 30. The remaining portion of the Ra-Lite Neon factory is a triangular building occupied by the Pollard Plastics Company. The building is clad in five- course common bond brick on its east side and enameled steel panels on the south and west exteriors. Historic-age windows awning windows in steel frames fenestrate the building's south exterior while double hung sashes are located on the east side. The building's western exterior wall, enclosed during the historic period after the demolition of the larger factory, contains awning windows in steel frames. Historic-age metal flush doors and rolling metal doors cover entrances and garage bays on the building's south and west sides. While nearby buildings were constructed after the area had transitioned to a commercial and industrial setting, the 1950 Sanborn Fire Insurance map shows that Resource 190 was historically surrounded by dense residential development. Resource 190 possesses integrity in the area of location only. This remaining portion of the Ra-Lite Neon Company stands in its original location. Integrity in the area of setting has been altered through the demolition of surrounding historic-age dwellings as the area transitioned from residential to commercial/industrial in the 1960s. Integrity in the areas of design, materials, and workmanship has been severely diminished. The building has been truncated with only a small portion remaining. Resource 190 can no longer evoke a sense of industrial life in 1940s Dallas, nor does it retain a direct link to the past. Therefore, the property does not retain integrity in the areas of feeling or association. While Resource 190 has operated as an industrial building in Dallas since 1940, research did not reveal any associations between the resource and events or people that have made significant contributions to local or state history. Therefore, Resource 190 is recommended not eligible under Criteria A or B. The resource was evaluated under Criterion C for significance in the area of architecture. Resource 190 does not represent an academic type or style, nor does it embody characteristics of a distinctive time period or method of construction. Therefore, the resource is recommended not eligible under Criterion C.

I-30 Canyon HRSR 2020



Resource 190 (HHM) [23 (I-30 Canyon 2020)]: Detail of 1950 Sanborn map

Source: Sanborn Fire Insurance Map from Dallas, Dallas County, Texas. Sanborn Map Company, - Aug 1950 Vol. 4, 1950. Map. https://www.loc.gov/item/sanborn08492_016/ (Accessed September 2, 2020).

Resource 190 (HHM) [23 (I-30 Canyon 2020)]: 1956 Aerial Photograph Source: historicaerials.com

Resource 190 (HHM) [23 (I-30 Canyon 2020)]: 1968 Aerial Photograph Source: historicaerials.com

I-30 Canyon 2020

Resource 190 (HHM) [23 (I-30 Canyon 2020)]: view northwest toward south and east elevations

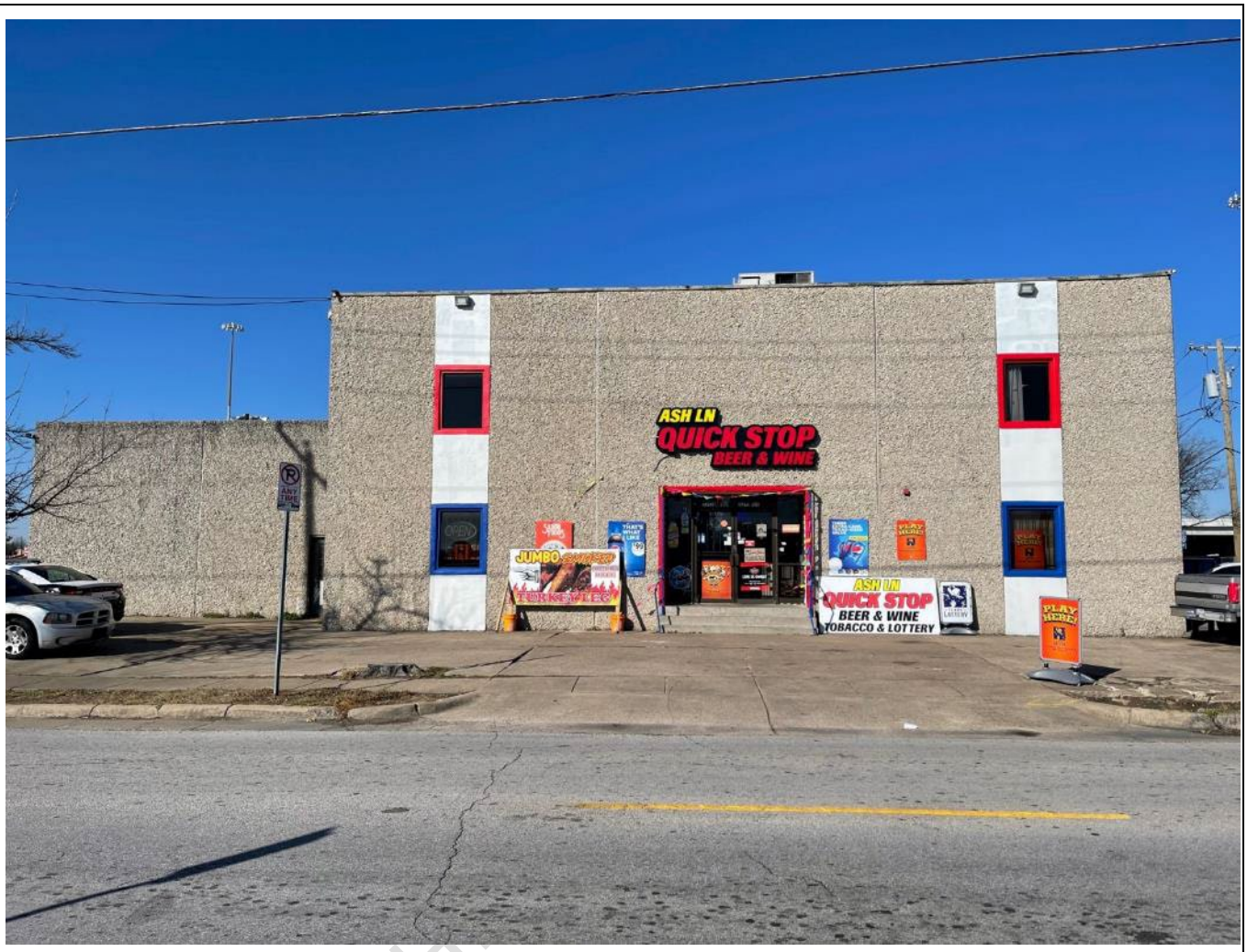
Resource 190 (HHM) [23 (I-30 Canyon 2020)]: view east toward west and south elevations

Survey Date:	1/25/2022 (HNTB)	
Resource No:	**191 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3525 ASH LN, 32.781564000000003/ -96.768810999999999503	
Function/ Subfunction:	Commercial	Auto repair
Form:	Box with Wing	
Stylistic Influence(s):	Brutalist	
Construction Date:	1979 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	I-30 East Corridor Project (HNTB, Sept. 2022, Resource #11) (Not eligible)	
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 191	***See photos on following pages.***

Survey Date:	01/25/2022
Resource No:	191 (HHM) [11 (HNTB)]
Project Location:	Dallas
Project Name and CSJ:	I-30 East Corridor Project; 0009-11-252
Address, Lat/Long:	3525 Ash Lane; 32.782497, -96.768790
Function/Sub-function:	Commercial/Automotive Repair
Construction Date:	1979
NRHP Eligibility:	Not Eligible
Integrity/Comments:	Resource 191 is a two-story, rectangular commercial building with a flat roof. The exterior walls are clad in exposed aggregate. Windows on Resource 191 are confined to the east (façade) and north elevations. Each of the two elevations features two vertical bands of concrete, and each band contains two fixed windows. The façade has a central glass and metal storefront accessed by poured concrete steps. The north elevation features a metal entry door and a metal rolling door, both sheltered by a flat-roofed metal porch that appears to be original. The west elevation has no openings and is clad in concrete. The south elevation features a storage or work aspect set back from the façade and the roofline, though the eastern portion is clad in exposed aggregate to match the façade. Chain-link fencing and metal sheeting are present on the south and west sides of the storage aspect. Resource 191 sits on a parcel that is predominantly paved with minimal landscaping. Resource 191 retains integrity in the aspect of location because it has not been moved from its original site of construction. Resource 191 also retains integrity in the aspects of materials and design because it has not been altered with additions or significant materials replacement. Resource 191 does not retain integrity in the aspects of setting, workmanship, feeling, or association. The immediate setting has changed drastically since the resource's construction in 1979. The small residences and businesses that once surrounded the building have largely been demolished, compromising integrity of setting. Though the resource has not been significantly altered, its materials and method of construction indicate mass production and rapid assembly, which do not convey integrity of workmanship. Further, though Resource 191 is largely unchanged from its historic period, it has no obvious connection to a particular use or architectural style and does not possess integrity of feeling or association. Therefore, Resource 191 is recommended not eligible under Criterion C. Resource 191 does not appear to have an association with significant historical events or individuals important to development of Dallas, Texas. Therefore, Resource 191 is recommended not eligible for the NRHP under Criteria A or B.

HNTB Draft HHSR September 2022

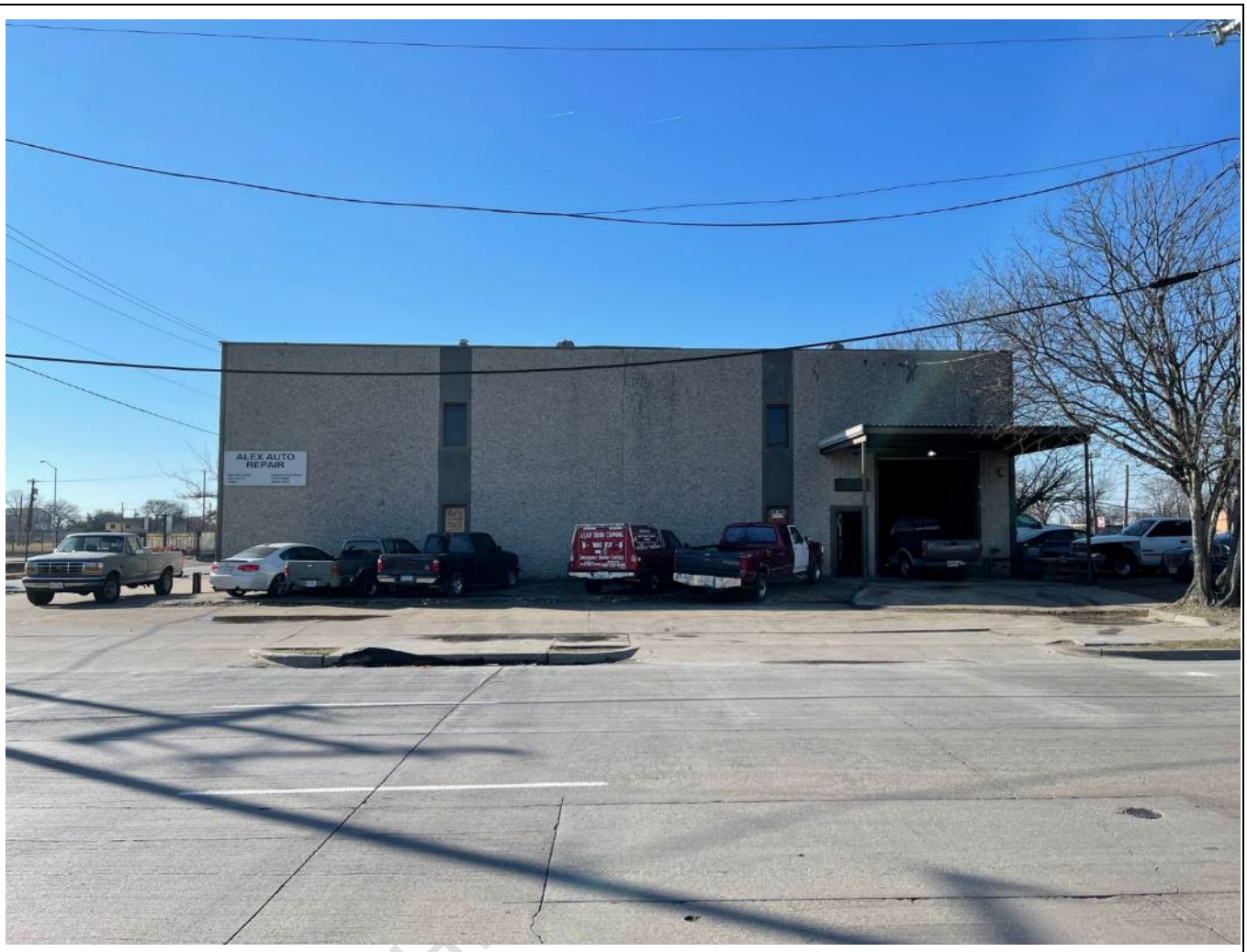


Resource 191 (HHM) [11 (HNTB)]: view of façade (east elevation)

HNTB Draft

Resource 191 (HHM) [11 (HNTB)]: façade oblique showing open storage on south elevation

HNTB Draft

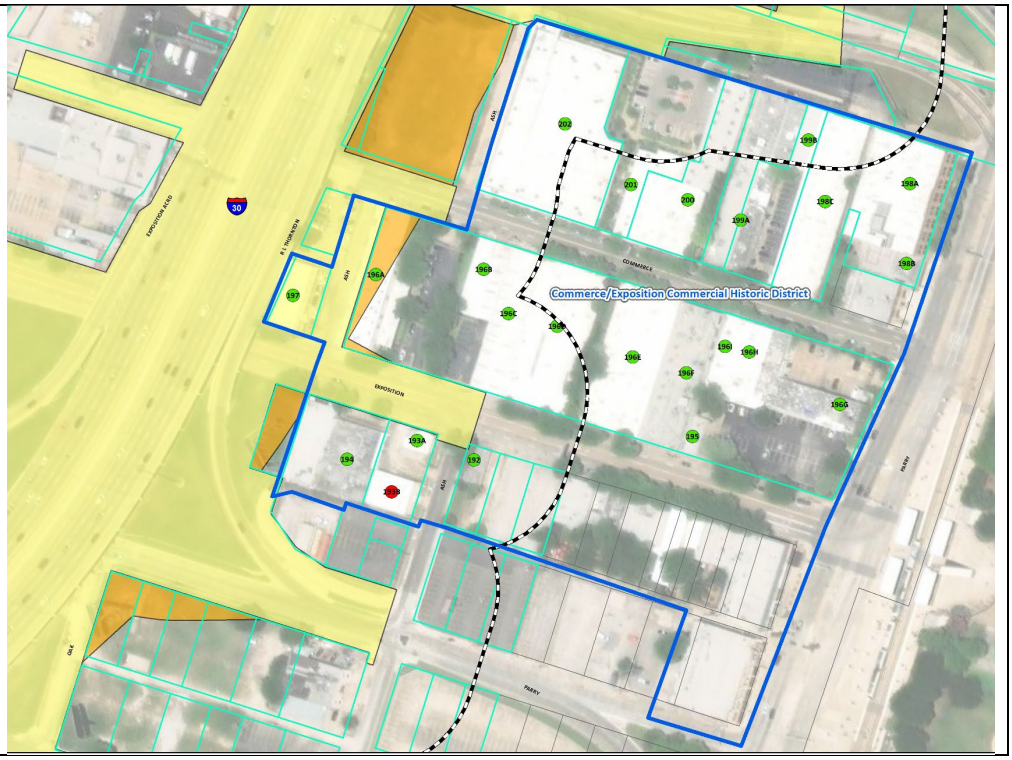


Resource 191 (HHM) [11 (HNTB)]: view of north elevation showing metal porch and rolling door

HNTB Draft

Survey Date:	12/27/2022 (HHM)
District Name:	**COMMERCE/ EXPOSITION HISTORIC DISTRICT (HHM)**
Resource Nos.:	**192-202**
Project Location:	Dallas County, Dallas District
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251
Rough Boundaries:	Texas & Pacific (T&P) railroad tracks at the north, Parry Avenue at the east, the alley between 1st Avenue and Exposition Avenue at the south, and Ash Lane at the west
Functions/ Subfunctions:	Commercial/ Store, Warehouse
Forms:	One-part commercial block, Two-part commercial block
Stylistic Influence(s):	Commercial
Construction Dates:	1920-1940 (Appraisal district)
NRHP Eligibility:	Eligible as a district
NR District, Status:	Commerce/ Exposition Commercial District,
Criteria, Notes:	Criterion A, Criterion C, Architecture, Commerce, Local level of significance; Period of significance 1922-1962
Alterations/ Additions:	
Integrity Notes:	
Effect:	Adverse effects to individually eligible/contributing resource at 710 Exposition Ave. (Cabell's Inc., Resource ID 197) and contributing resource at 820 Exposition Ave. A (Resource ID 196A); de minimis ROW acquisition (no adverse effect) on parcel encompassing contributing resources 820 Exposition Avenue B-I (Resource IDs 196B-I) and 832 Exposition Avenue (Resource ID 195)

Overview map showing the recommended Commerce/Exposition Historic District. Boundary shown in blue, contributing resources in green, noncontributing resources in red. See Appendix D for a larger-scale map and legend.



Recommended Commerce/Exposition Historic District, contextual photos (outside of APE).

Survey Date:	12/28/2022	
Resource No:	**192 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	801 EXPOSITION AVE, 32.782442000000003/ -96.768045000000001502	
Function/ Subfunction:	Commercial	Store
Form:	Box	
Stylistic Influence(s):	Mid-century Modern	
Construction Date:	1952 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Commerce/ Exposition Commercial District, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Commerce, Local level of significance	
Alterations/Additions:	Windows partially boarded	
Integrity Notes:		
Effect:	None	

Resource No. 192 (532E298F-E67F-4719-AB5E-CE30BB9E62AB.jpeg)

Resource No. 192 (92DD0D29-B132-486D-AD0C-7BDCFE9DD57C.jpeg)	
Resource No. 192 (EBF7AD46-4E9D-454B-B798-9847BBE0031E.jpeg)	

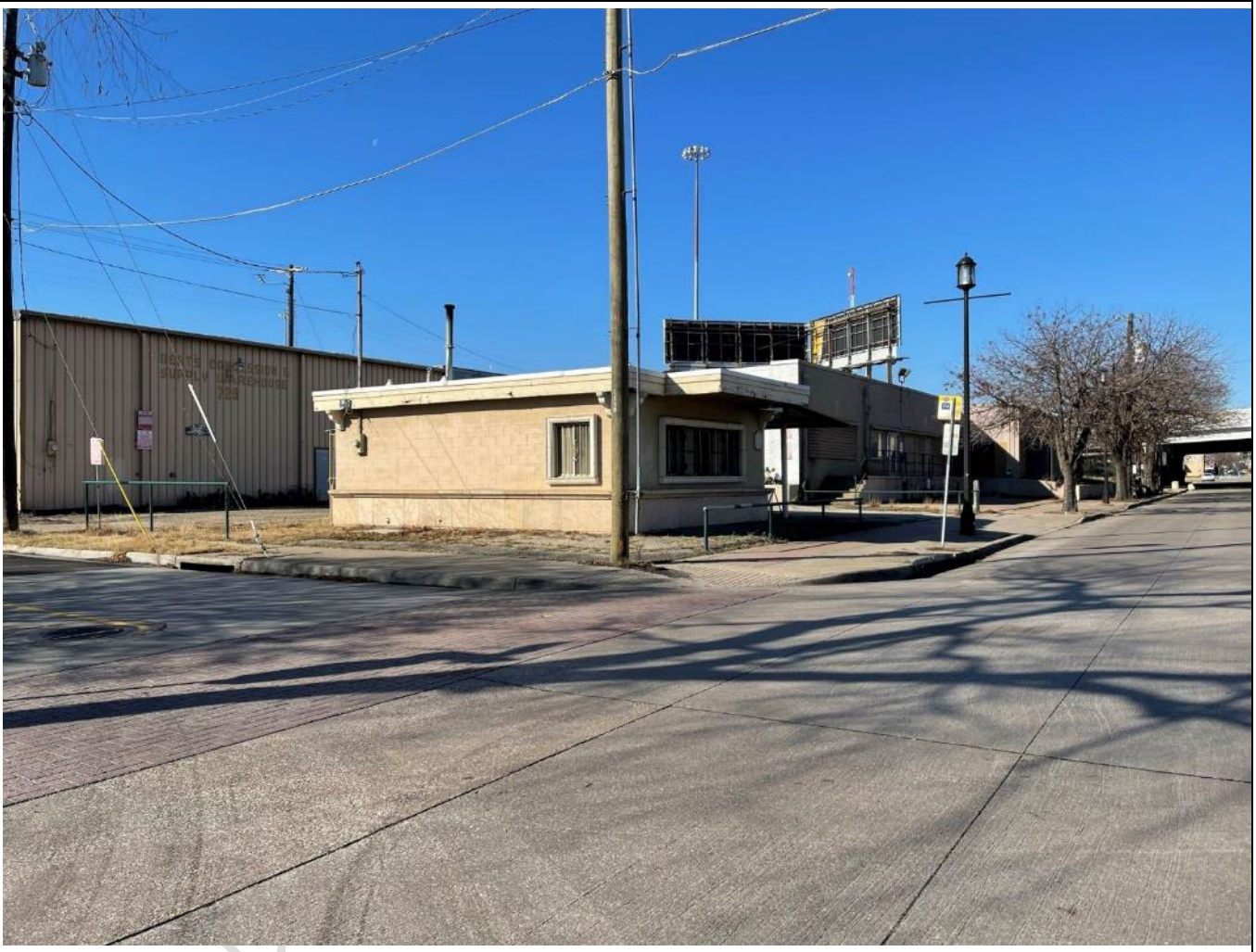
Survey Date:	1/25/2022 (HNTB)	
Resource No:	**193A (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	729 EXPOSITION AVE, 32.782519999999998/ -96.768317999999994525	
Function/ Subfunction:	Commercial	Concession stand
Form:	Commercial box	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1976 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	I-30 East Corridor Project (HNTB, Sept. 2022, Resource # 12b) (Not eligible)	
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Commerce/ Exposition Commercial District, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Commerce, Local level of significance	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 193A	***See photos on following pages.***

Survey Date:	01/25/2022
Resource No:	193A (HHM) [12b (HNTB)]
Project Location:	Dallas
Project Name and CSJ:	I-30 East Corridor Project; 0009-11-252
Address, Lat/Long:	729 Exposition Avenue A (HHM) [HNTB 731 Exposition Avenue]; 32.782493, -96.768309
Function/Sub-function:	Commercial
Construction Date:	1976
NRHP Eligibility:	See HHM 2023 survey form (contributing to Commerce/Exposition Historic District) (Not Eligible per HNTB)
Integrity/Comments:	Retains sufficient integrity for district threshold per Table G-2 in Appendix G (HHM). Per HNTB: Resource 193A is a small, one-story building that may have served as a concession stand, based on its size, configuration, and the label on 193B. At the time of survey, the signage on 193A indicated it was in use as a bike shop, though no bikes were present, and it did not appear to have been used recently. Resource 193A is constructed of concrete block with a flat roof and features prominent window and door framing as well as knee braces that appear to be concrete or engineered stone. The same concrete or engineered stone is used for a water table on the north, east, and west elevations. It could not be determined whether the window and door frames, knee braces, and water table were original to the building. A non-historic, metal, shed-roofed porch on the west elevation shelters the only entry as well as a single window. The north elevation features a band of sliding windows that may have originally served as the customer walk-up window. The sliding windows appear to be original. All the windows on 193A are covered with non-historic metal security bars. Resource 193A retains integrity in the aspects of location, setting, and association. Resource 193A has not been moved from its original site of construction, and the immediate surroundings have changed very little since it was built, thus retaining integrity of location and setting. The small size of 193A, its intact sliding windows that convey some manner of customer service, and the painted sign on 193B effectively communicate their association to concession sales, particularly when observed in relation to the State Fairgrounds located just one block east. Resource 193A's integrity in the aspects of materials, design, workmanship, and feeling are compromised by non-historic and potentially non-historic changes to the building, including the metal porch and the window and door surrounds, knee braces, and water table that are not common material or design elements for buildings constructed in 1976. Resource 193A appears to have been most recently occupied by a bicycle shop and was not in use at the time of survey. This change in use and in the relationship of the two buildings compromises the resource's integrity of feeling. Therefore, Resource 193A is recommended not eligible under Criterion C. Resource 193A was evaluated under Criterion A for Recreation/Entertainment for potential significance as a concession company serving Exposition Avenue and Fair Park. Though Resource 193A is labeled as a concessions company, and the service windows convey use as a concession stand, research did not suggest that Resource 193A and

HNTB Draft HRSR September 2022

	193B, individually or collectively, were significant to the recreation or entertainment history of Exposition Avenue or Fair Park. Therefore, Resource 193A is not recommended eligible under Criterion A. Resource 193A does not appear to have an association with individuals important to development of Dallas, Texas. Therefore, Resource 193A is not recommended eligible for the NRHP under Criterion B.



Resource 193A (HHM) [12b (HNTB)]: view of building, facing west

HNTB

Resource 193A (HHM) [12b (HNTB)]: view of building under non-historic metal porch, facing east

HNTB Draft

Resource 193A (HHM) [12b (HNTB)]: 1972 aerial photograph showing future site of Resources 12a and 12b
Source: www.historicaerials.com

HNTB Draft

Resource 193A (HHM) [12b (HNTB)]: 1979 aerial photograph showing future site of Resources 12a and 12b
Source: www.historicaerials.com

HNTB Draft

Resource 193A (HHM) [12b (HNTB)]: 2021 aerial photograph showing future site of Resources 12a and 12b
Source: Google Earth Pro

HNTB Draft HR

Survey Date:	1/25/2022 (HNTB)	
Resource No:	**193B (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	729 EXPOSITION AVE, 32.782313000000002/ -96.768439999999998526	
Function/ Subfunction:	Commercial	Warehouse
Form:	Rectangular	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1976 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	I-30 East Corridor Project (HNTB, Sept. 2022, Resource #12a) (Not eligible)	
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	Commerce/ Exposition Commercial District, Noncontributing	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 193B	***See photos on following pages.***

Survey Date:	01/25/2022
Resource No:	193B (HHM) [12a (HNTB)]
Project Location:	Dallas
Project Name and CSJ:	I-30 East Corridor Project; 0009-11-252
Address, Lat/Long:	729 Exposition Avenue B (HHM) [HNTB 731 Exposition Avenue]; 32.782493, -96.768309
Function/Sub-	Commercial
Construction Date:	1976
NRHP Eligibility:	See HHM 2023 survey form (noncontributing to Commerce/Deep Ellum Historic District) (Not Eligible per HNTB)
Integrity/Comments:	Resource 193B is a two-story, metal-clad warehouse with a shallow, side-gabled roof. It features a metal rolling door and a metal slab entry door on both the north and east elevations. The conditions of both sets of doors indicated they are likely non-historic replacements. The south elevation has no openings, and the west elevation was not accessible. The north elevation is lettered with "Bert's Concession & Supply Warehouse 729." On the same parcel is Resource 193A, a small, one-story building that may have served as a concession stand, based on its size, configuration, and the label on 193B. Resource 193B retains integrity in the aspects of location, setting, and association. It has not been moved from its original site of construction, and the immediate surroundings have changed very little since it was built, thus retaining integrity of location and setting. The small size of 193A, its intact sliding windows that convey some manner of customer service, and the painted sign on 193B effectively communicate the buildings' association to concession sales, particularly when observed in relation to the State Fairgrounds located just one block east. Though Resource 193B has not been significantly altered, its materials and method of construction indicate mass production and rapid assembly, and do not convey integrity of materials, design, or workmanship. Resource 193B appears to remain in use as a concessions supply and storage building, but Resource 193A appears to have been most recently occupied by a bicycle shop and was not in use at the time of survey. This change in the context and relationship of the two buildings compromises the resources' integrity of feeling. Therefore, Resource 193B is recommended not eligible under Criterion C. Resource 193B was evaluated under Criterion A for Recreation/Entertainment for potential significance as a concession company serving Exposition Avenue and Fair Park. Though Resource 193B is labeled as a concessions company, and Resource 12b's service windows convey use as a concession stand, research did not suggest that Resource 12a and 193A, individually or collectively, were significant to the recreation or entertainment history of Exposition Avenue or Fair Park. Therefore, Resource 193B is not recommended eligible under Criterion A. Resource 193B does not appear to have an association with individuals important to development of Dallas, Texas. Therefore, Resource 193B is not recommended eligible for the NRHP under Criterion B.

HNTB Draft Final September 2022

Resource 193B (HHM) [12a (HNTB)]: view of building, facing north

HNTB Draft

Resource 193B (HHM) [12a (HNTB)]: 1972 aerial photograph showing future site of Resources 12a and 12b
Source: www.historicaerials.com

HNTB Draft

Resource 193B (HHM) [12a (HNTB)]: 1979 aerial photograph showing future site of Resources 12a and 12b
Source: www.historicaerials.com

HNTB Draft

Resource 193B (HHM) [12a (HNTB)]: 2021 aerial photograph showing future site of Resources 12a and 12b
Source: Google Earth Pro

HNTB Draft HRS

Survey Date:	8/4/2020 (Canyon)	
Resource No:	**194 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	721 EXPOSITION AVE, 32.782445000000003/ -96.768653999999998501	
Function/ Subfunction:	Commercial	Warehouse
Form:	Massed block	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1947 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	IH 30 Canyon (2020) (Not Eligible)	
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Commerce/ Exposition Commercial District, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Commerce, Local level of significance	
Alterations/Additions:	Some windows infilled, some windows replaced	
Integrity Notes:		
Effect:	None	

Resource No. 194 (3FB4B17C-8010-43EE-BD8B-5004A720855A.jpeg)

Resource No. 194 (194ECE82-2356-46A0-9ACD-D002E3738C30.jpeg)	
Resource No. 194	***See photos on following pages.***

Survey Date:	8/4/20
Resource No:	194 (HHM) [26 (I-30 Canyon 2020)]
Project Location:	Dallas County
Project Name and CSJ:	IH 30 Canyon Improvements Project; 0009-11-254
Address, Lat/Long:	721 Exposition Avenue; 32.78311 -96.76891
Function/Sub-function:	Commercial/Warehouse
Construction Date:	1947-c. 1956
NRHP Eligibility:	See HHM 2023 survey form (contributing to Commerce/Exposition Historic District) (Not Eligible per 2020 Canyon survey)
Integrity/Comments:	Retains sufficient integrity for district threshold per Table G-2 in Appendix G (HHM). Per 2020 Canyon survey: Resource 194 is a one-story structural clay tile building clad in running bond brick veneer. A review of Sanborn fire insurance maps and historic aerial photographs allowed researchers to estimate construction dates for additions to the building. A rear addition was constructed between 1950 and 1952. An addition on the building's east side was constructed between 1952 and 1956. The 1950 Sanborn map indicates that Resource 194 was used historically as a wholesaler. While a historic-age glass door and fixed window in aluminum frames are located on the building's north-facing primary façade, other windows on this elevation have been infilled with brick. Rolling metal doors and metal doors obscured by security bars cover the garage bays and pedestrian entrances on the building's south-facing rear elevation. Resource 194 retains integrity in the areas of setting and location only. The building sits in its original location in a largely commercial section of Dallas. The infilling of windows on the building's primary façade has led to a reduction of integrity in the areas of design, materials, and workmanship. On a building with so few architectural details, changes to fenestrations have severely limited its ability to convey significance. The property can no longer evoke a sense of commercial life in 1960s Dallas or possess a direct link to the past. Therefore, Resource 194 does not retain integrity in the areas of feeling or association. Research did not reveal an association between Resource 194 and any events or people that have made significant contributions to Dallas history, therefore the property is recommended not eligible under Criteria A or B. Resource 194 was evaluated under Criterion C for architecture. The building does not represent an academic type or style, nor does it embody distinctive characteristics of a particular time period or method of construction. Integrity in the area of materials and design has been reduced through the infilling of windows along the building's primary façade. Therefore, the resource is recommended not eligible under Criterion C.

I-30 Canyon HRSR 2020

Resource 194 (HHM) [26 (I-30 Canyon 2020)]: view southwest toward north and east elevations

Resource 194 (HHM) [26 (I-30 Canyon 2020)]: view north toward south elevation

Survey Date:	1/12/2023	
Resource No:	**195 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	832 EXPOSITION AVE, 32.782536/ -96.766992999999999147	
Function/ Subfunction:	Commercial	Store
Form:	One-part commercial block	
Stylistic Influence(s):	Commercial	
Construction Date:	1923 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Commerce/ Exposition Commercial District, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Commerce, Local level of significance	
Alterations/Additions:	Doors replaced	
Integrity Notes:		
Effect:	No adverse effect (de minimis ROW acquisition)	

Resource No. 195 (6203CEE7-A51F-4EF4-9F6B-B68C55E53204.jpeg)

Survey Date:	12/27/2022	
Resource No:	**196A (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	820 EXPOSITION AVE, 32.783191000000002/ -96.768517000000003519	
Function/ Subfunction:	Commercial	Warehouse
Form:	Two-part commercial block	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1923 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	I-30 East Corridor Project (HNTB, Sept. 2022, Resource #13a) (Not eligible)	
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Commerce/ Exposition Commercial District, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Commerce, Local level of significance	
Alterations/Additions:	Some exterior wall materials covered, Some window replaced, Doors replaced	Shed-roof metal porch added between 1956 and 1968
Integrity Notes:	Alterations compatible	
Effect:	Adverse Effect	

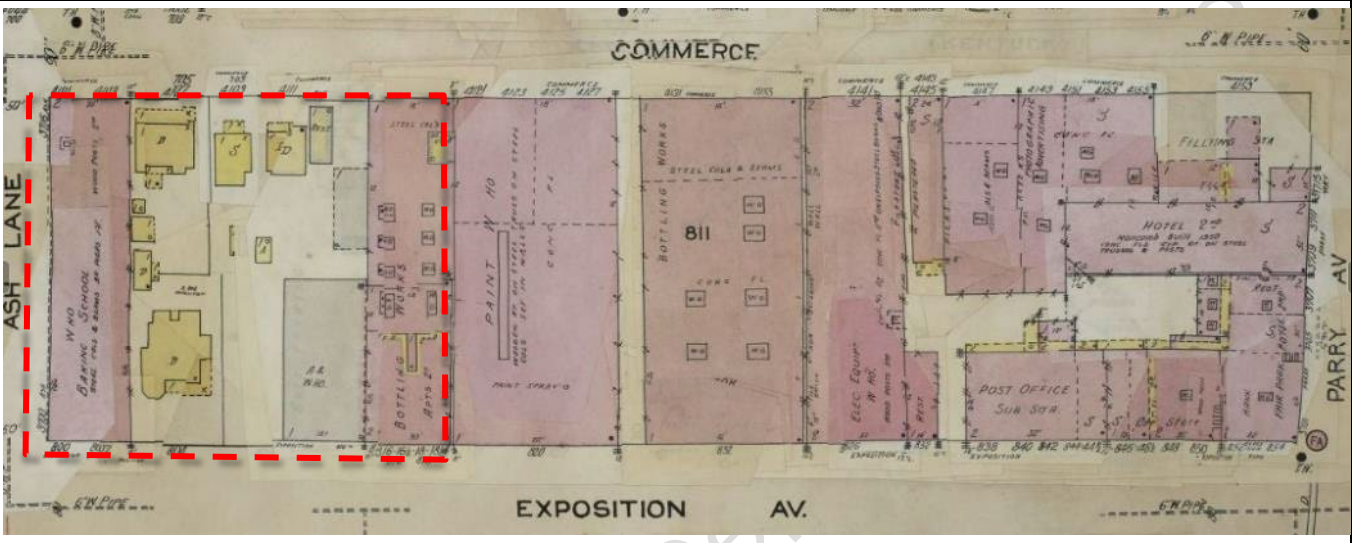
Resource No. 196A (2571693B-A3D7-4B2C-8809-53C6728F2C78.jpeg)

Resource No. 196A (1BE90D30-D0D6-456E-A4E3-074866554133.jpeg)	

Survey Date:	01/25/2022
Resource No:	196A (HHM) [13a (HNTB)]
Project Location:	Dallas
Project Name and CSJ:	I-30 East Corridor Project; 0009-11-252
Address, Lat/Long:	800-832 Exposition Avenue, 4115 and 4145-4253 Commerce Street, 3711-3715 Parry Avenue; 32.782617, -96.767334
Function/Sub-function:	Commercial
Construction Date:	ca .1928
NRHP Eligibility:	See HHM 2023 survey form (contributing to Commerce/Exposition Historic District) (Not Eligible per HNTB)
Integrity/Comments:	See HHM survey form; Retains sufficient integrity for district threshold per Table G-2 in Appendix G (HHM). Per HNTB: Resource 196 is a row of historic-age buildings fronting Exposition Avenue between Ash Lane and Parry Avenue, as well as buildings fronting Commerce Street and Parry Avenue. Though they now occupy a single Dallas County parcel, they were originally constructed as separate buildings, and only those located within the APE of the proposed project are assessed in this report. Within the APE, Resource 196 is comprised of three buildings. Resource 196A is located at 800 Exposition Avenue and was constructed in c. 1928. Resource 196B is located at 4115 Commerce Street and was constructed c. 1960. Resource 196C is located at 816 Exposition Avenue and was constructed c. 1928. Resource 196A is a two-story, flat-roofed building that spans the entire length of the block from Exposition Avenue to Commerce Street. A 1922 Sanborn map indicates it is of brick construction, but it has been covered in non-historic stucco on all elevations other than the east elevation which exhibits the original brick, though painted. Windows throughout the building are a mix of historic-age and non-historic units. Original windows are steel framed, multi-light units with a central awning panel of lights that appear operational. Replacement units are aluminum framed and are either multi-light and awning replicas of the originals or are plate glass storefront windows. Exterior doors are all non-historic metal slab or metal and glass replacements. There are no non-historic additions to the building, but there is a shed-roof metal porch on the east elevation that was added sometime between 1956 and 1968. Access to the rest of the east elevation was limited by a non-historic metal fence. Resource 196A retains integrity in the aspect of location only, because it has not been moved from its original site of construction. Resource 196A no longer retains integrity in the aspects of setting, materials, design, workmanship, feeling, or association. Integrity of setting has been compromised by the construction of I-30 and the loss of many surrounding resources that dated to the resource's historic period. All three buildings exhibit historic-age and non-historic material and design changes that have heavily impacted their integrity of materials, design, and workmanship. None of the three buildings operate in their original capacities and all have altered so that they no longer convey their original uses or time periods, thus negating integrity of feeling and association

HNTB Draft HRSR September 2022

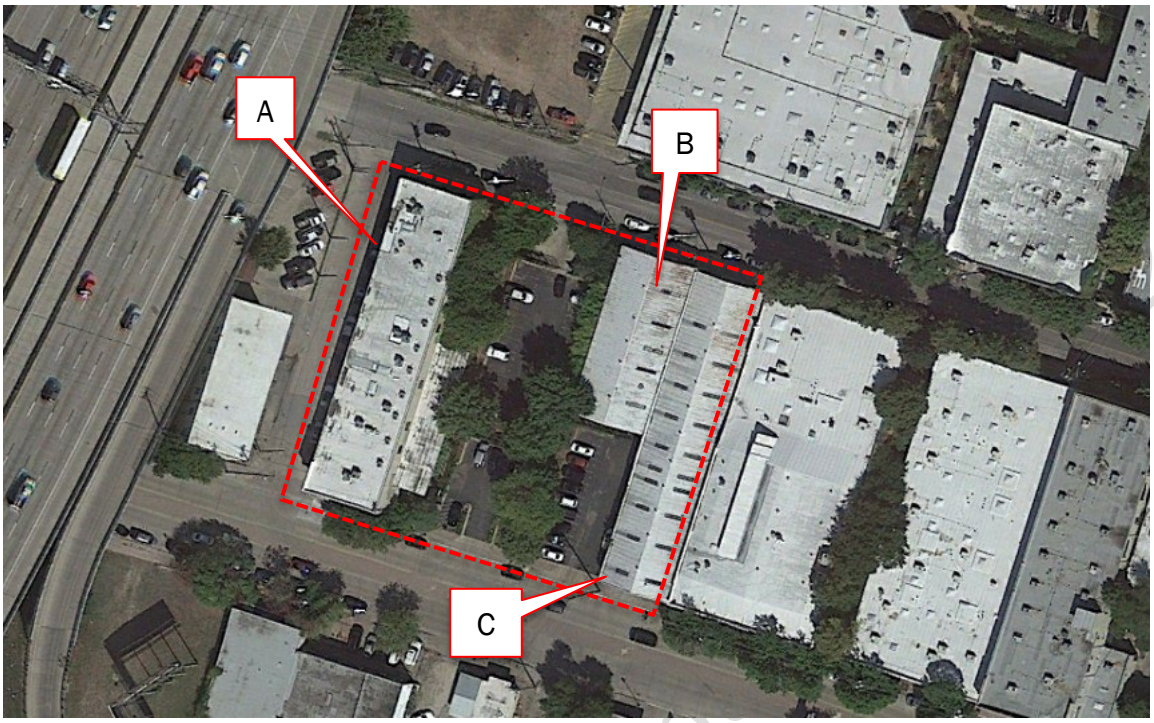
	to any particular function or period of significance. Therefore, Resource 196A is recommended not eligible under Criterion C. Resource 196A does not appear to have an association with significant historical events or individuals important to development of Dallas, Texas. Therefore, Resource 196A is recommended not eligible for the NRHP under Criteria A or B.



Resource 196A (HHM) [13a (HNTB)]: 1922 Sanborn Map vol. 4, revised in 1950, sheet 418

Source: Library of Congress

HNTB Draft HRSR Se



Resource 196A (HHM) [13a (HNTB)]: 2021 aerial showing Resources 13a, 13b, and 13c
Source: Google Earth Pro

HNTB Draft HRSR

Resource 196A (HHM) [13a (HNTB)]: view of north elevation from Commerce Street

HNTB Draft

Resource 196A (HHM) [13a (HNTB)]: view of south elevation from Exposition Avenue

HNTB Draft

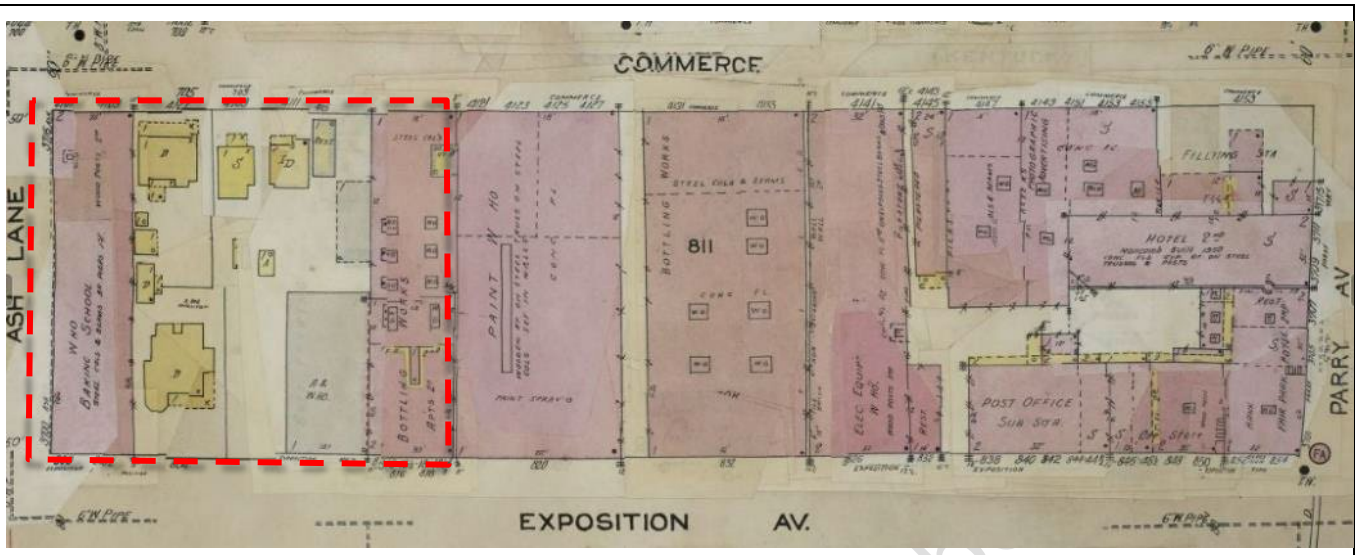
Survey Date:	12/27/2022	
Resource No:	**196B (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	820 EXPOSITION AVE, 32.783211999999999/ -96.767996999999994518	
Function/ Subfunction:	Commercial	Warehouse
Form:	Rectangular	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1923 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	I-30 East Corridor Project (HNTB, Sept. 2022, Resource #13b) (Not eligible)	
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Commerce/ Exposition Commercial District, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Commerce, Local level of significance	
Alterations/Additions:	Doors replaced and/or infilled	
Integrity Notes:	Alterations compatible	
Effect:	No adverse effect (de minimis ROW acquisition)	

Resource No. 196B (B5E4A03E-AE23-4DD0-B090-C8B3A2F2A288.jpeg)

Resource No. 196B (B838D9F6-55E0-4CD8-A11B-22BB88049CCC.jpeg)	

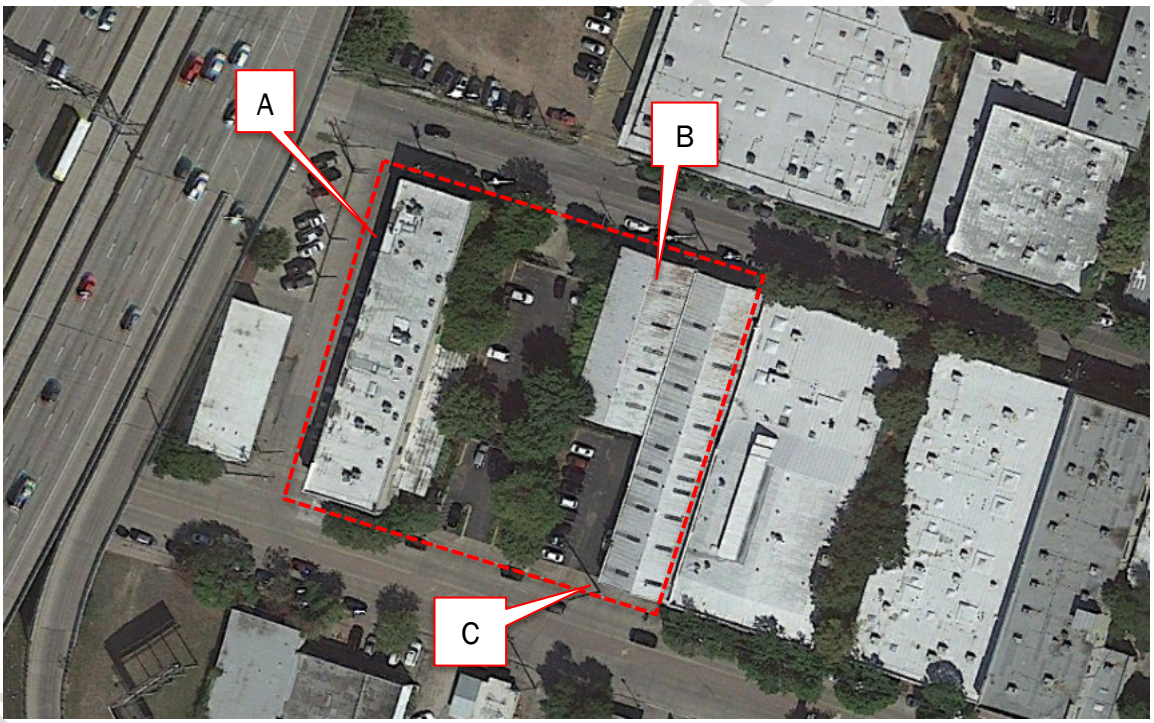
Survey Date:	01/25/2022
Resource No:	196B (HHM) [13b (HNTB)]
Project Location:	Dallas
Project Name and CSJ:	I-30 East Corridor Project; 0009-11-252
Address, Lat/Long:	800-832 Exposition Avenue, 4115 and 4145-4253 Commerce Street, 3711-3715 Parry Avenue; 32.782617, -96.767334
Function/Sub-function:	Commercial
Construction Date:	ca. 1960
NRHP Eligibility:	See HHM 2023 survey form (contributing to Commerce/Exposition Historic District) (Not
Integrity/Comments:	Retains sufficient integrity for district threshold per Table G-2 in Appendix G (HHM). Per HNTB: Resource 196B is a front-gabled building clad in metal sheeting. Access to the east and west elevations was limited by a non-historic metal fence and Resource 196BC, which directly abuts the east elevation. The visible portion of the west elevation features concrete block construction. The façade of 196B is simple and utilitarian and features a single metal slab entry door that does not appear to be historic-age, a single 3-over-3 metal-framed window, and a metal rolling door, the age of which could not be determined. The south elevation is concrete block with metal sheeting in the gable end, A single, non-historic metal rolling door is present at the eastern end. No other openings are present. Resource 196B retains integrity in the aspect of location only, because it has not been moved from its original site of construction. Resource 196B no longer retains integrity in the aspects of setting, materials, design, workmanship, feeling, or association. Integrity of setting has been compromised by the construction of I-30 and the loss of many surrounding resources that dated to the resource's historic period. All three buildings exhibit historic-age and non-historic material and design changes that have heavily impacted their integrity of materials, design, and workmanship. None of the three buildings operate in their original capacities and all have altered so that they no longer convey their original uses or time periods, thus negating integrity of feeling and association to any particular function or period of significance. Therefore, Resource 196B is recommended not eligible under Criterion C. Resource 196B does not appear to have an association with significant historical events or individuals important to development of Dallas, Texas. Therefore, Resource 196B is recommended not eligible for the NRHP under Criteria A or B.

HNTB Draft for PBR September 2022



Resource 196A (HHM) [13a (HNTB)], 196B (HHM) [13b (HNTB)], and 196C (HHM) [13c (HHM)]: 1922 Sanborn Map vol. 4, revised in 1950, sheet 418

Source: Library of Congress



Resource 196A (HHM) [13a (HNTB)], 196B (HHM) [13b (HNTB)], and 196C (HHM) [13c (HHM)] : 2021 aerial showing Resources 13a, 13b, and 13c

Source: Google Earth Pro

Resource 196B (HHM) [13b (HNTB)]: view of north elevations of Resource 13b (right) and Resource 13c (left) from Commerce Street

Source: Google Earth Pro

HNTB Draft HRSR Sept

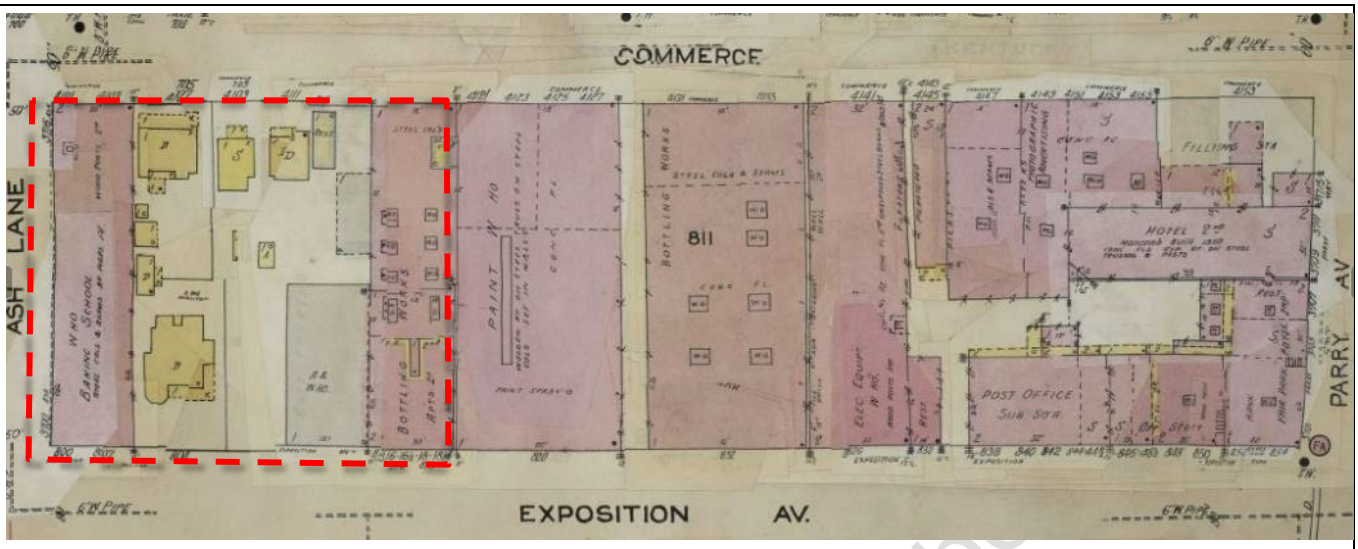
Survey Date:	12/27/2022	
Resource No:	**196C (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	820 EXPOSITION AVE, 32.783033000000003/ -96.767877999999996517	
Function/ Subfunction:	Commercial	Botting works
Form:	Rectangular	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1923 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	I-30 East Corridor Project (HNTB, Sept. 2022, Resource #13c) (Not eligible)	
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Commerce/ Exposition Commercial District, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Commerce, Local level of significance	
Alterations/Additions:	Roof shape altered	
Integrity Notes:	Alterations within historic period	
Effect:	No adverse effect (de minimis ROW acquisition)	

Resource No. 196C (E3EF6C71-A2AE-480F-97A9-573CCD404DFE.jpeg)

Resource No. 196C (6AF42B0E-6B17-4000-9493-051A2ACBB943.jpeg)	

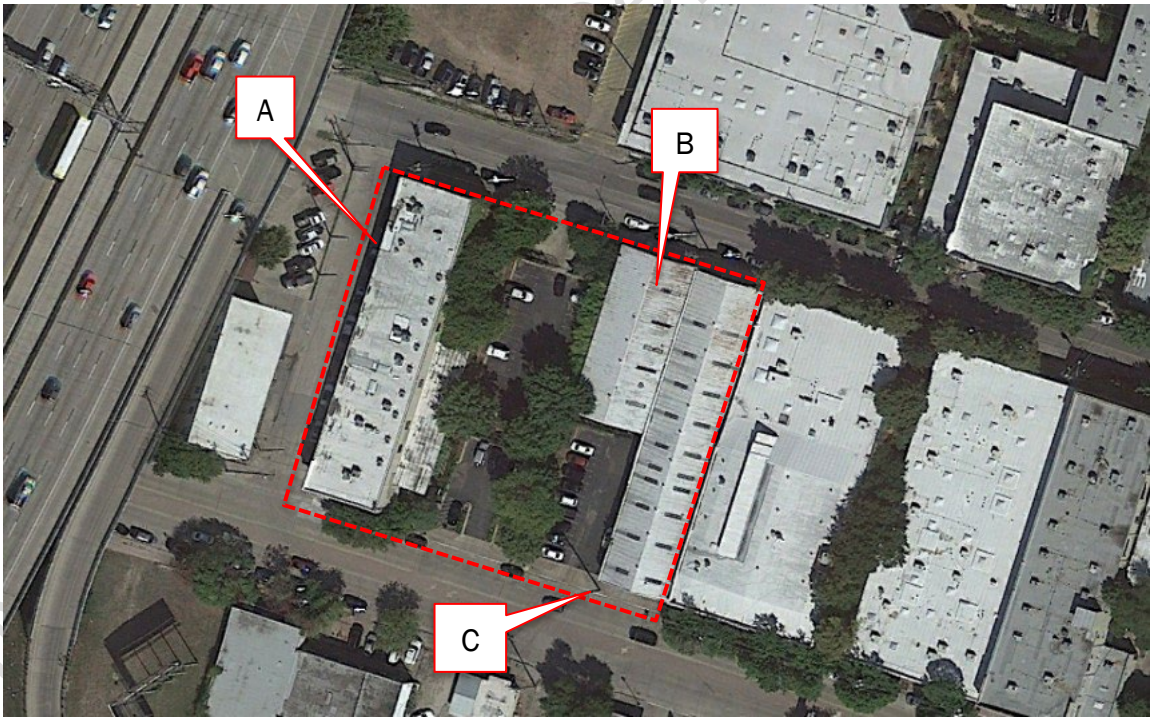
Survey Date:	01/25/2022
Resource No:	196C (HHM) [13c (HHM)]
Project Location:	Dallas
Project Name and CSJ:	I-30 East Corridor Project; 0009-11-252
Address, Lat/Long:	800-832 Exposition Avenue, 4115 and 4145-4253 Commerce Street, 3711-3715 Parry Avenue; 32.782617, -96.767334
Function/Sub-function:	Commercial
Construction Date:	ca. 1928
NRHP Eligibility:	See HHM 2023 survey form (contributing to Commerce/Exposition Historic District) (Not Eligible per HNTB)
Integrity/Comments:	Retains sufficient integrity for district threshold per Table G-2 in Appendix G (HHM). Per HNTB: Resource 196C is a front-gabled building constructed of a mix of brick and concrete block. The only visible elevations are the north and south, both of which feature a single non-historic metal slab door and a single potentially-historic-age metal rolling door. A 1922 Sanborn Map indicates it operated originally as a combination bottling works and apartment building, and aerial photography from 1952 and 1956 supports the dual use with what appears to be a multi-story, U-shaped building at the south end and a single-story building extending north. Aerial photographs from 1968 to 1972 show that 13c was significantly altered either by remodeling or total reconstruction. Because the brickwork visible on the north elevation retains the style of a c. 1920 building, it is assumed that the apartment end was demolished and reconstructed and that the bottling works end was simply remodeled. The most discernible change noted on historic aerials is the conversion of the original multi-level flat roof to a single level gabled roof, visible in 1972. Resource 196C retains integrity in the aspect of location only, because it has not been moved from its original site of construction. Resource 196C no longer retains integrity in the aspects of setting, materials, design, workmanship, feeling, or association. Integrity of setting has been compromised by the construction of I-30 and the loss of many surrounding resources that dated to the resource's historic period. All three buildings exhibit historic-age and non-historic material and design changes that have heavily impacted their integrity of materials, design, and workmanship. None of the three buildings operate in their original capacities and all have altered so that they no longer convey their original uses or time periods, thus negating integrity of feeling and association to any particular function or period of significance. Therefore, Resource 196C is recommended not eligible under Criterion C. Resource 196C does not appear to have an association with significant historical events or individuals important to development of Dallas, Texas. Therefore, Resource 196C is recommended not eligible for the NRHP under Criteria A or B.

HNTB Draft HRSR September 2022



Resource 196A (HHM) [13a (HNTB)], 196B (HHM) [13b (HNTB)], and 196C (HHM) [13c (HHM)]: 1922 Sanborn Map vol. 4, revised in 1950, sheet 418

Source: Library of Congress



Resource :196A (HHM) [13a (HNTB)], 196B (HHM) [13b (HNTB)], and 196C (HHM) [13c (HHM)] 2021 aerial showing Resources 13a, 13b, and 13c
Source: Google Earth Pro

Resource 196B (HHM) [13b (HNTB)] and 196C (HHM) [13c (HHM)]: view of north elevations of Resource 13b (right) and Resource 13c (left) from Commerce Street
Source: Google Earth Pro

HNTB Draft HRSR Sept

Resource 196C (HHM) [13c (HHM)]: view of south elevation from Exposition Avenue

HNTB Draft

Survey Date:	12/28/2022	
Resource No:	**196D (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	820 EXPOSITION AVE, 32.782981999999997/ -96.767644000000004499	
Function/ Subfunction:	Commercial	Warehouse
Form:	Rectangular	
Stylistic Influence(s):	Commercial	
Construction Date:	1923 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Commerce/ Exposition Commercial District, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Commerce, Local level of significance	
Alterations/Additions:	All windows replaced, Doors replaced	
Integrity Notes:	Alterations compatible	
Effect:	No adverse effect (de minimis ROW acquisition)	

Resource No. 196D (6B076636-DA79-4B4F-9EB4-564E7BFBBDF7.jpeg)

Resource No. 196D (1243106E-B4D9-46FC-B3FD-6092194E644B.jpeg)	

Survey Date:	12/28/2022	
Resource No:	**196E (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	820 EXPOSITION AVE, 32.782857999999997/ -96.76728498	
Function/ Subfunction:	Commercial	Warehouse
Form:	Rectangular	
Stylistic Influence(s):	Commercial	
Construction Date:	1923 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Commerce/ Exposition Commercial District, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Commerce, Local level of significance	
Alterations/Additions:	Doors replaced	
Integrity Notes:		
Effect:	No adverse effect (de minimis ROW acquisition)	

Resource No. 196E (2091BC97-59EF-4666-8776-43C20538DA04.jpeg)

Resource No. 196E (49719AFC-18EF-49F4-A559-D47B69B67956.jpeg)	
Resource No. 196E (C095BCCD-605E-4A95-801F-EB8AC702D724.jpeg)	

Survey Date:	12/28/2022	
Resource No:	**196F (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	820 EXPOSITION AVE, 32.782794000000003/ -96.767022999999995497	
Function/ Subfunction:	Commercial	Store, Warehouse
Form:	Two-part commercial block	
Stylistic Influence(s):	Commercial	
Construction Date:	1923 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Commerce/ Exposition Commercial District, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Commerce, Local level of significance	
Alterations/Additions:	Doors partially replaced	
Integrity Notes:		
Effect:	No adverse effect (de minimis ROW acquisition)	

Resource No. 196F (0C99AB97-6E1C-492E-8D1C-293A244887FA.jpeg)

Resource No. 196F (6203CEE7-A51F-4EF4-9F6B-B68C55E53204.jpeg)	
Resource No. 196F (611D54CA-171E-49D3-A420-F289C3BC66B7.jpeg)	

Survey Date:	12/28/2022	
Resource No:	**196G (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	820 EXPOSITION AVE, 32.782665999999999/ -96.766284999999996496	
Function/ Subfunction:	Commercial	Theater
Form:	Two-part commercial block	
Stylistic Influence(s):	Commercial	
Construction Date:	1922 (Sanborn)	
Occupants/ History:	/ Cinema (1922 Sanborn sheet 418)	
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Commerce/ Exposition Commercial District, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Commerce, Local level of significance	
Alterations/Additions:	Doors replaced, Some windows replaced	
Integrity Notes:		
Effect:	No adverse effect (de minimis ROW acquisition)	

Resource No. 196G (DFB5EA71-328E-4E15-8766-775C6460322B.jpeg)

Survey Date:	12/28/2022	
Resource No:	**196H (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	820 EXPOSITION AVE, 32.782877999999997/ -96.766720000000007493	
Function/ Subfunction:	Commercial	Store
Form:	One-part commercial block	
Stylistic Influence(s):	Commercial	
Construction Date:	1923 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Commerce/ Exposition Commercial District, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Commerce, Local level of significance	
Alterations/Additions:	One storefront enclosed	
Integrity Notes:		
Effect:	No adverse effect (de minimis ROW acquisition)	

Resource No. 196H (C76561A9-950B-4F47-A305-CF0B3D760F8A.jpeg)

Resource No. 196H (5DEDCEFA-459E-427C-B974-2A02A859E0C7.jpeg)	
Resource No. 196H (F1BFD477-7A6C-4364-B99E-59012061597E.jpeg)	

Survey Date:	12/28/2022	
Resource No:	**196I (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	820 EXPOSITION AVE, 32.782899999999998/ -96.766836999999995492	
Function/ Subfunction:	Commercial	Store
Form:	Two-part commercial block	
Stylistic Influence(s):	Art Deco	
Construction Date:	1923 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Commerce/ Exposition Commercial District, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Commerce, Local level of significance	
Alterations/Additions:	Doors replaced	
Integrity Notes:		
Effect:	No adverse effect (de minimis ROW acquisition)	

Resource No. 196I (1B2E68FC-21FA-4D91-9920-CB08EC281577.jpeg)

Resource No. 196I (E7302250-7867-4D35-B3F9-C841093662E3.jpeg)	

Survey Date:	12/28/2022	
Resource No:	**197 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	710 EXPOSITION AVE, 32.783105999999997/ -96.768913999999995500	
Function/ Subfunction:	Commercial	Office, Warehouse
Form:	Two-part commercial block	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1962 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	TxDOT Historic Resources Aggregator (Survey date: NA), IH 30 Canyon (2020) (Eligible for Individual Listing in NRHP (Aggregator), Recommended NRHP Eligible (2020))	
NRHP Eligibility:	Individually eligible for NRHP, Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Commerce/ Exposition Commercial District, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Commerce, Local level of significance	
Alterations/Additions:	Garage doors replaced	
Integrity Notes:	Alterations compatible	
Effect:	Adverse Effect	

Resource No. 197 (3922BD96-B76D-4DA9-9CF6-E1B8AB61B84B.jpeg)

Resource No. 197 (4EE00834-3F63-4920-AB25-D96C4D13A70F.jpeg)	

Survey Date:	8/4/20
Resource No:	197 (HHM) [27 (I-30 Canyon 2020)]/Cabell's, Inc.
Project Location:	Dallas County
Project Name and CSJ:	IH 30 Canyon Improvements Project; 0009-11-254
Address, Lat/Long:	710 Exposition Avenue; 32.78311 -96.76891
Function/Sub-function:	Commerce/Automotive Repair Shop
Construction Date:	1962
NRHP Eligibility:	Eligible; also see HHM 2023 survey form (additionally contributing to Commerce/Exposition Historic District)
Integrity/Comments:	Resource 197/Cabell's, Inc. is a two-story rectilinear building clad in running bond brick with a soldier course dividing the upper and lower floors. Historic-age double-hung sashes fenestrate all four sides of the second story and the first floor of the south elevation, where one window has been infilled with plywood. Garage bays located along the building's eastern exterior are covered with non-historic rolling metal doors with fixed lights. The building is sited on a paved parking lot with nearby parcels containing a mix of historic-age and non-historic commercial and residential development. In an informal interview, the current property owner informed researchers that the building once served as the corporate headquarters for Cabell's, Inc. Founded by Earle Cabell and his brothers in the 1930s, Cabell's, Inc. began as an ice cream company. Eventually operating in multiple Texas cities, Cabell's became one of the first convenience store chains in the state. The company's Dallas ice cream plant was located at 4003 Commerce Street (see Resource 16)). The plant has been significantly altered and no longer shares an association with Resource 197/Cabell's, Inc. After selling the company to Southland Corporation in 1959, Earle Cabell entered a career in politics serving as mayor of Dallas and a US Congressman. Resource 197/Cabell's, Inc. retains integrity in the areas of setting, location, design, materials, workmanship, feeling, and association. The building sits in its original location in a largely commercial section of Dallas. The building's historic windows and exterior materials allow it to retain integrity in the areas of materials, design, and workmanship. Though the former headquarters' garage bays have been covered with non-historic doors, this change does not impact the building's ability to convey significance as a mid-twentieth century commercial building. The metal garage doors do not visually distract from the overall historic character of the property and the building retains integrity in the area of feeling. With its direct link to its past as a corporate headquarters intact, Resource 197/Cabell's Inc. retains integrity in the area of association. Resource 197/Cabell's, Inc. was evaluated under Criterion A in the area of commerce for its association with the Cabell's brand of ice cream shops and convenience stores. While the building represents a later period of the company's history (the company was founded in the 1930s and this resource was constructed in 1962), research did not reveal other buildings that exemplify the history of Cabell's, Inc. in Dallas. As the headquarters of a locally- founded business, Resource 197/Cabell's, Inc. represents a specific period of commercial history in Dallas and is recommended eligible for inclusion on the National Register. Resource 197/Cabell's, Inc. was evaluated under Criterion B for its association with Earle Cabell, a prominent businessman and politician in Dallas during the mid-twentieth century. Mr. Cabell's association with Cabell's, Inc. is only one example of his many contributions to Dallas history. His historic contributions as a business owner were surpassed during his years as a politician and Mr. Cabell's association with Resource 197/Cabell's, Inc. does not

I-30 Canyon HHM 2020

	best represent his productive years in Dallas. Therefore Resource 197/Cabell's, Inc. is not recommended eligible under Criterion B. Resource 197/Cabell's, Inc. was evaluated under Criterion C for architecture and is recommended eligible. Although the building does not represent an academic type or style, its intact historic windows and exterior features allow it to express significance as a mid- twentieth century commercial building. By embodying the materials and methods of construction of the 1960s, Resource 197 continues to evoke a sense of commercial life in historic Dallas.

Resource 197 (HHM) [27 (I-30 Canyon 2020)]: view southwest toward north and east elevations

I-30 Canyon 2020

Resource 197 (HHM) [27 (I-30 Canyon 2020)]: view northeast toward west and south elevations

I-30 Canyon

Survey Date:	12/28/2022	
Resource No:	**198A (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3809 PARRY AVE, 32.783557999999999/ -96.765947999999995491	
Function/ Subfunction:	Commercial	Auto Sales/Service
Form:	Two-part vertical block	
Stylistic Influence(s):	Prairie	
Construction Date:	1929 (Appraisal district)	
Occupants/ History:		
Prior Designation:	Local landmark, Individually listed on NRHP (Goodyear Tire & Rubber Company Building)	
Prior Documentation:	DART Southeast Corridor Survey (2001) (Eligible)	
NRHP Eligibility:	Maintain previous NRHP listing, Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Commerce/ Exposition Commercial District, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Commerce, Local level of significance	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 198A (B93CB3A0-F11D-46BC-A190-CA1153037E87.jpeg)

Resource No. 198A (0D33F881-62BA-40ED-9612-F5FF67AF060F.jpeg)	
Resource No. 198A (62D08E48-E83D-4DA1-936A-54913F69A023.jpeg)	

Survey Date:	12/28/2022	
Resource No:	**198B (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3809 PARRY AVE, 32.783234999999998/ -96.765962999999999495	
Function/ Subfunction:	Commercial	Auto Sales/Service
Form:	Box with Canopy	
Stylistic Influence(s):	Classical Revival	
Construction Date:	1929 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	DART Southeast Corridor Survey (2001) (Eligible)	
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Commerce/ Exposition Commercial District, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Commerce, Local level of significance	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 198B (DF5DE3D8-09AB-4E91-909D-22251680CF11.jpeg)

Resource No. 198B (D974CCAF-BF10-4782-AE1C-0560C6687C07.jpeg)	

Survey Date:	12/28/2022	
Resource No:	**198C (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3809 PARRY AVE, 32.783486000000003/ -96.766355000000004494	
Function/ Subfunction:	Commercial	Store, Warehouse
Form:	Two-part commercial block	
Stylistic Influence(s):	Gothic Revival	
Construction Date:	1929 (Appraisal district, Marker)	
Occupants/ History:		
Prior Designation:	Local landmark, Individually listed on NRHP (BF Goodrich Building)	
Prior Documentation:	DART Southeast Corridor Survey (2001) (Eligible)	
NRHP Eligibility:	Maintain previous NRHP listing, Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Commerce/ Exposition Commercial District, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Commerce, Local level of significance	
Alterations/Additions:	Some windows replaced	
Integrity Notes:		
Effect:	None	

Resource No. 198C (D217F4BF-52B8-41A5-B0A4-B437FAFFACA4.jpeg)

Resource No. 198C (5BADF265-617D-4A18-B6FD-1AD3921CDA69.jpeg)	
Resource No. 198C (11F13A1E-811D-472C-AD6A-A29C44CC81DF.jpeg)	

Survey Date:	12/27/2022	
Resource No:	**199A (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	4130 COMMERCE ST, 32.783410000000003/ -96.766760000000005523	
Function/ Subfunction:	Commercial	Office
Form:	One-part commercial block	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1954 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	I-30 East Corridor Project (HNTB, Sept. 2022, Resource #17) (Not eligible)	
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Commerce/ Exposition Commercial District, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Commerce, Local level of significance	
Alterations/Additions:	All windows replaced	
Integrity Notes:		
Effect:	None	

Resource No. 199A (68F8CC01-A524-4C91-BDE1-473E6CA9D51E.jpeg)

Resource No. 199A (084FD1D1-5773-4D8E-A58A-A1DAF00B7881.jpeg)	

Survey Date:	01/25/2022
Resource No:	199A (HHM) [17 (HNTB)]
Project Location:	Dallas
Project Name and CSJ:	I-30 East Corridor Project; 0009-11-252
Address, Lat/Long:	4130 Commerce Street; 32.783224, -96.766772
Function/Sub-function:	Commercial/Office
Construction Date:	1929
NRHP Eligibility:	See HHM 2023 survey form (contributing to Commerce/Exposition Historic District) (Not Eligible per HNTB)
Integrity/Comments:	See HHM survey form; Retains sufficient integrity for district threshold per Table G-2 in Appendix G (HHM). Per HNTB: Resource 199A is a one-story building with flat roof. The building faces southwest and is clad in historic-age running bond brick that has been painted over. The main elevation is fenestrated by non-historic fixed windows and a non-historic metal door with a large central window. The door and several of the windows are covered by non-historic metal bars. The main elevation is topped with a flat parapet wall that is heavily obscured by non-historic vegetation. Non-historic metal gates resting on concrete have been placed on both sides of the main elevation. On the western side of the building, the gate closes off an alley between neighboring properties. On the eastern side of the building, the fence connects to a non-historic metal garage bay door which accesses a parking lot. Both side elevations are obscured by non-historic vegetation. Resource 199A retains integrity in the aspects of location and setting only. The property stands in its original location within a commercial setting. The construction of the non-historic fence and changes in the building's fenestration have reduced integrity in the aspects of design, materials, and workmanship. Without the ability to convey significance in the aspect of design, the building no longer evokes a sense of commercial life in the mid-twentieth century. Due to the design changes, Resource 199A no longer possesses a direct link to the past and does not retain integrity in the aspect of association. Research did not reveal an association between Resource 199A and any events or people that have made significant contributions to history in Dallas. Therefore, the property is recommended not eligible under Criterion A or B. The property was evaluated under Criterion C and is recommended not eligible. Although it retains some aspects of integrity, the building does not represent and distinct type or style, nor does it embody design elements of a particular era.

HNTB Draft NRSP September 2022

Resource 199A (HHM) [17 (HNTB)]: view of façade (south elevation) showing non-historic openings

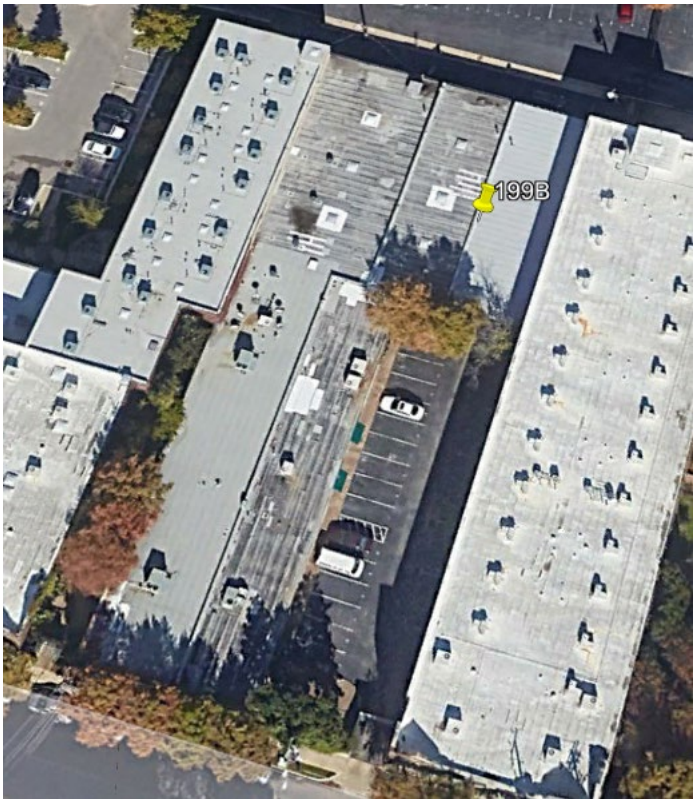
HNTB Draft

Resource 199A (HHM) [17 (HNTB)]: view of Commerce Street and facade, facing northwest

HNTB Draft

Survey Date:	12/28/2022	
Resource No:	**199B (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	4130 COMMERCE ST, 32.783734000000003/ -96.766435000000001490	
Function/ Subfunction:	Commercial	Garage
Form:	Rectangular	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1954 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Commerce/ Exposition Commercial District, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Commerce, Local level of significance	
Alterations/Additions:	Doors replaced	
Integrity Notes:	Visibility limited given front gate and vegetative growth	
Effect:	None	

Resource No. 199B.



Resource No. 199B viewed through small opening in vegegation surrounding front gate, camera facing northeast (372E2656-70A2-4480-9AAE-78E01DE17E2B.jpeg)	

Survey Date:	12/27/2022	
Resource No:	**200 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	4118 COMMERCE ST, 32.783492000000003/ -96.767015999999998522	
Function/ Subfunction:	Commercial	Store, Warehouse
Form:	One-part commercial block	
Stylistic Influence(s):	Mission Revival	
Construction Date:	1929 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	DART Southeast Corridor Survey (2001); I-30 East Corridor Project (HNTB, Sept. 2022, Resource #16c) (Eligible; Not Eligible)	
NRHP Eligibility:	Individually eligible for NRHP, Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Commerce/ Exposition Commercial District, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Commerce, Local level of significance	
Alterations/Additions:	Some windows replaced	
Integrity Notes:	Alterations compatible	
Effect:	None	

Resource No. 200 (85F5ADA1-8D98-4339-A04B-E0F429B39E5A.jpeg)

Resource No. 200 (574CFAF8-FE7B-4228-9A45-69AAD8736974.jpeg)	

Survey Date:	01/25/2022
Resource No:	200 (HHM) [16a (HNTB)]
Project Location:	Dallas
Project Name and CSJ:	I-30 East Corridor Project; 0009-11-252
Address, Lat/Long:	4100-4118 Commerce Street; 32.783533, -96.767710
Function/Sub-function:	Commercial/Office
Construction Date:	1929
NRHP Eligibility:	See HHM 2023 survey form(contributing to Commerce/Exposition Historic District) (Not Eligible per HNTB)
Integrity/Comments:	Retains sufficient integrity for district threshold per Table G-2 in Appendix G (HHM). Per HNTB: Resources 200-202 encompass a multi-building complex that fronts Commerce Street. A 1950 reissue of the 1922 Sanborn Fire Insurance Map of the area labels this as the Sherwin-Williams Co. paint warehouse. Aerial photography shows that a large portion of the rear of the building was lost or demolished between 2016 and 2018 and is now used as a surface parking lot. Resource 200 is a large, one-story, flat-roofed building constructed of brick, though the façade has been non-historically covered in stucco. Windows throughout the building are a mix of historic-age and non-historic units. Original windows are steel framed, multi-light units with a central awning panel of lights that appear operational. Original windows are present on all visible minor elevations Replacement units are present on the façade and are aluminum framed, fixed light, storefront windows. The façade entrance is a non-historic metal slab door flanked by non-historic aluminum framed sidelights. A flat canopy and aluminum framed fixed transom are above. Three non-historic metal rolling doors are present on the west elevation. The façade has a parapet roof with an ornate central ornamental projection that indicates the main entrance. Resource 200 is connected to Resource 201 by a non-historic concrete and metal gate that divides the sidewalk from a private interior walkway. Resource 200 retains integrity in the aspect of location as it has not been moved from its original site of construction. Resource 16 no longer retains integrity in the aspects of materials, design, workmanship, setting, feeling or association. The irreversible application of non-historic stucco to the original brick façade, as well as the replacement of all original façade windows and doors with incompatible, non-historic units has compromised the resource's integrity of materials and workmanship. The loss of a significant portion of the rear of the building and its replacement with surface parking changed the footprint of Resource 200 and has negated the overall integrity of design. Integrity of setting has been lost due to the construction of I-30, the loss of a portion of the rear of the building and replacement with a surface lot, and the loss of surrounding buildings that date to Resource 200's historic period. Resource 200 no longer conveys its historic design, and non-historic materials have obscured its historic nature, resulting in a loss of integrity of feeling and association. Therefore, Resource 200 is recommended not eligible under Criterion C. Resource 200 does not appear to have an association with significant historical events or individuals important to development of Dallas, Texas. Sherwin-Williams was not founded in Dallas, and this warehouse represents one of many such employers in the area. Therefore, Resource 200 is recommended not eligible for the NRHP under Criteria A or B.

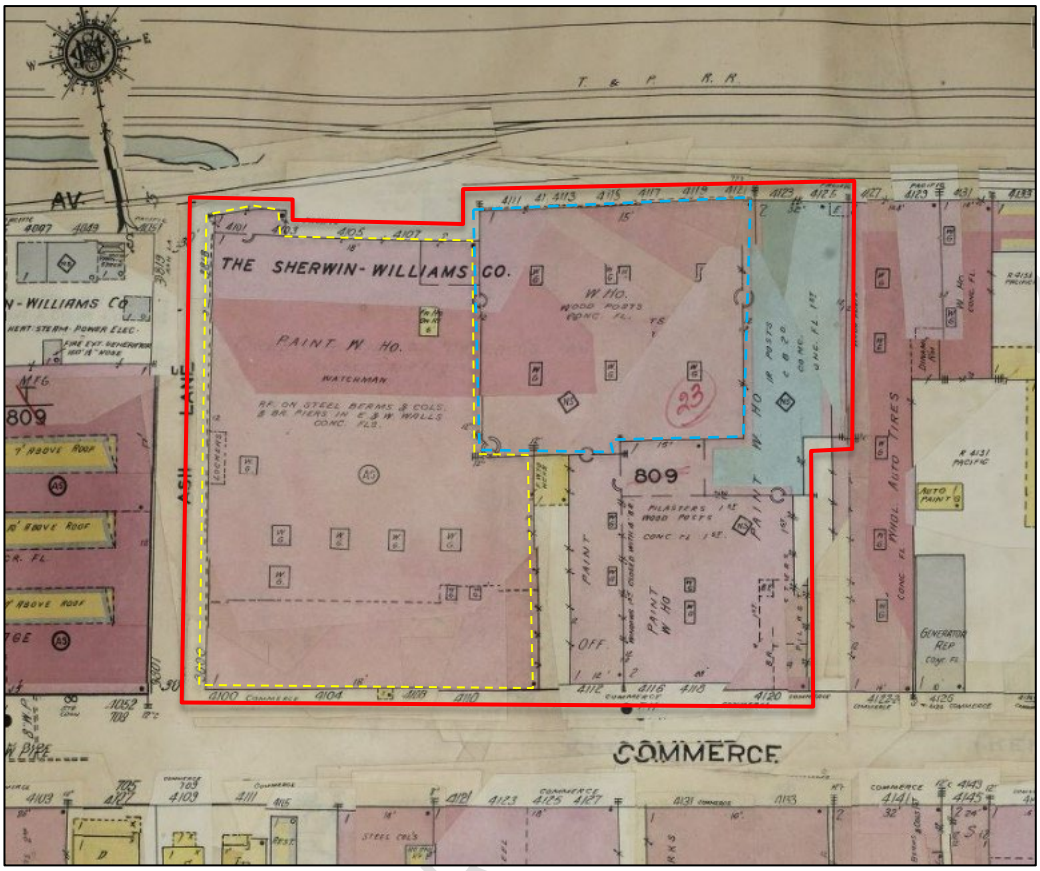
HNTB Draft NRHP September 2022

Resource 200 (HHM) [16a (HNTB)]: view of façade (south elevation)

HNTB Draft

Resource 200 (HHM) [16a (HNTB)]: view of non-historic gate between 16a and 16b (south elevation)

HNTB Draft



Resource 200 (HHM) [16a (HNTB)]: 1950 reissue of 1922 Sanborn vol. 4, sheet 418
Red line showing Resource 16, yellow line showing Resource 16a, blue line showing now-demolished building
Source: Library of Congress

HNTB Draft HPSR 2022

Resource 200 (HHM) [16a (HNTB)]: 2021 aerial
Red line showing Resource 16 and yellow line showing altered footprint of Resource 16a
Source: Google Earth Pro

HNTB Draft HRSR

Survey Date:	12/27/2022	
Resource No:	**201 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	4100 COMMERCE ST, 32.783554000000002/ -96.767289000000005521	
Function/ Subfunction:	Commercial	Office
Form:	One-part commercial block	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1929 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	DART Southeast Corridor Survey (2001); I-30 East Corridor Project (HNTB, Sept. 2022, Resource #16b) (Not Eligible; Not Eligible)	
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Commerce/ Exposition Commercial District, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Commerce, Local level of significance	
Alterations/Additions:	All windows replaced, Door enclosed	
Integrity Notes:		
Effect:	None	

Resource No. 201 (683A9EBB-2962-4C88-A483-273588A3FC88.jpeg)	

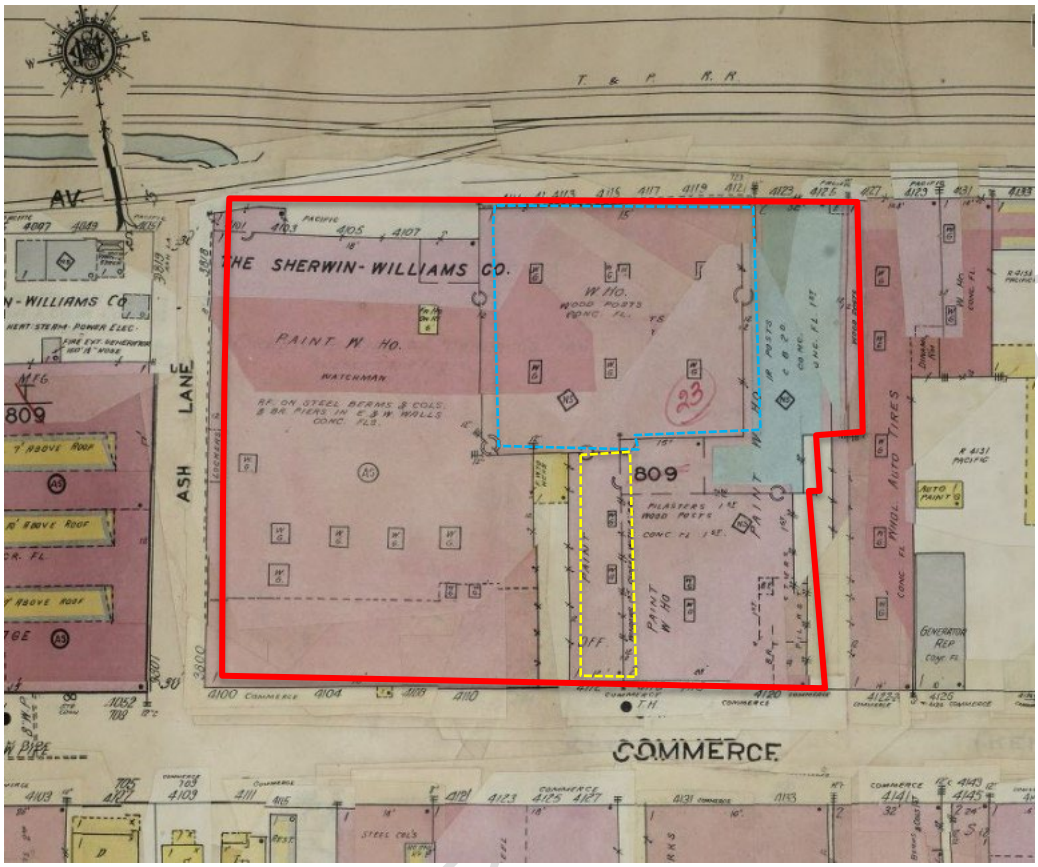
Resource No. 201 (6DECC189-0A78-4A60-BD61-9012C91845CC.jpeg)	

Survey Date:	01/25/2022
Resource No:	201 (HHM) [16b (HNTB)]
Project Location:	Dallas
Project Name and CSJ:	I-30 East Corridor Project; 0009-11-252
Address, Lat/Long:	4100-4118 Commerce Street; 32.783533, -96.767710
Function/Sub-	Commercial/Office
Construction Date:	1929
NRHP Eligibility:	See HHM 2023 survey form (contributing to Commerce/Exposition Historic District) (Not Eligible per HNTB)
Integrity/Comments:	See HHM survey form; Retains sufficient integrity for district threshold per Table G-2 in Appendix G (HHM). Per HNTB: Resource 201 is significantly smaller than Resource 200. It is one story, flat roofed, and its façade has been non-historically covered in stucco identical to that on 200. All façade windows are non-historic aluminum-framed replacements. There is no door on the façade, and one window opening has been enclosed with stucco and serves as a niche for electrical equipment. A small alley between Resources 200 and 201 is closed off by a non-historic metal fence and gate. On its southeast elevation, Resource 201 directly abuts Resource 202. Resource 201 retains integrity in the aspect of location as it has not been moved from its original site of construction. Resource 201 no longer retains integrity in the aspects of materials, design, workmanship, setting, feeling or association. The irreversible application of non-historic stucco to the original brick façade, as well as the replacement of all original façade windows with incompatible, non-historic units has compromised the resource's integrity of materials and workmanship. The loss of a significant portion of the rear of the building and its replacement with surface parking has negated integrity of design. Integrity of setting has been lost due to the construction of I-30, the loss of a portion of the rear of the building and replacement with a surface lot, and the loss of surrounding buildings that date to Resource 201's historic period. Resource 201 no longer conveys its historic style, and non-historic materials have obscured its historic nature, resulting in a loss of integrity of feeling and association. Therefore, Resource 201 is recommended not eligible under Criterion C. Resource 201 does not appear to have an association with significant historical events or individuals important to development of Dallas, Texas. Sherwin-Williams was not founded in Dallas, and this warehouse represents one of many such employers in the area. Therefore, Resource 201 is recommended not eligible for the NRHP under Criteria A or B.

HNTB Draft Report September 2022

Resource 201 (HHM) [16b (HNTB)]: view of façade and non-historic gate adjoining Resource 16a (south elevation)

HNTB Draft



Resource 201 (HHM) [16b (HNTB)]: 1950 reissue of 1922 Sanborn vol. 4, sheet 418
Red line showing Resource 16, yellow line showing Resource 16b, blue line showing now-demolished building
Source: Library of Congress

HNTB Draft HRSR 2022

Resource 201 (HHM) [16b (HNTB)]: 2021 aerial
Red line showing Resource 16 and yellow line showing footprint of Resource 16b
Source: Google Earth Pro

HNTB Draft HRSR 2

Survey Date:	12/27/2022	
Resource No:	**202 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	4100 COMMERCE ST, 32.783799000000002/ -96.767606000000001520	
Function/ Subfunction:	Commercial	Warehouse
Form:	Two-part commercial block	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1929 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	DART Southeast Corridor Survey (2001); I-30 East Corridor Project (HNTB, Sept. 2022, Resource #16a) (Eligible; Not Eligible)	
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Commerce/ Exposition Commercial District, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Commerce, Local level of significance	
Alterations/Additions:	All windows replaced, Doors replaced	
Integrity Notes:		
Effect:	None	

Resource No. 202 (CD452491-D03D-458C-ABDF-494D77FD7B27.jpeg)

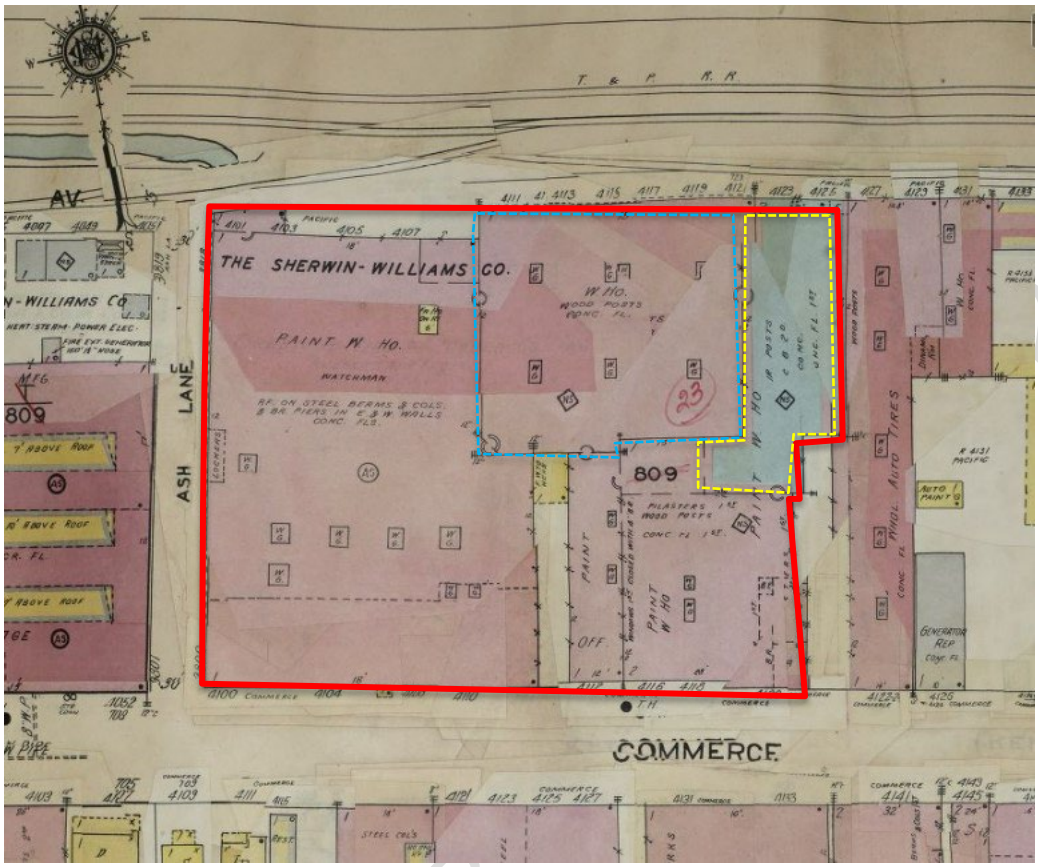
Resource No. 202 (0CAC9308-A7BD-4B71-8F01-00F6701387CC.jpeg)	

Survey Date:	01/25/2022
Resource No:	202 (HHM) [16c (HNTB)]
Project Location:	Dallas
Project Name and CSJ:	I-30 East Corridor Project; 0009-11-252
Address, Lat/Long:	4100-4118 Commerce Street; 32.783533, -96.767710
Function/Sub-function:	Commercial/Office
Construction Date:	1929
NRHP Eligibility:	See HHM 2023 survey form (contributing to Commerce/Exposition Historic District) (Not Eligible per HNTB)
Integrity/Comments:	See HHM survey form; Retains sufficient integrity for district threshold per Table G-2 in Appendix G (HHM). Per HNTB: Resource 202 was not visible from Commerce Street, and access to the building was not permitted. Observed from Ash Lane, 202 was confirmed to be a two-story building with a flat roof. It appears to have been covered in non-historic stucco. Windows are original steel-framed, multi-light units with central awning panels that appear to be operable like those found on Resource 200. Resource 202 retains integrity in the aspect of location as it has not been moved from its original site of construction. Resource 202 no longer retains integrity in the aspects of materials, design, workmanship, setting, feeling or association. The irreversible application of non-historic stucco to the original brick has compromised the resource's integrity of materials and workmanship. The loss of a significant portion of the rear of the building, which directly abutted the first floor of Resource 202, and its replacement with surface parking has negated integrity of design. Integrity of setting has been lost due to the construction of I-30, the loss of a portion of the rear of the building and replacement with a surface lot, and the loss of surrounding buildings that date to Resource 202's historic period. Resource 202 no longer conveys its historic style, and non-historic materials have obscured its historic nature, resulting in a loss of integrity of feeling and association. Therefore, Resource 202 is recommended not eligible under Criterion C. Resource 202 does not appear to have an association with significant historical events or individuals important to development of Dallas, Texas. Sherwin-Williams was not founded in Dallas, and this warehouse represents one of many such employers in the area. Therefore, Resource 202 is recommended not eligible for the NRHP under Criteria A or B.

HNTB Draft HBSR September 2022

Resource 202 (HHM) [16c (HNTB)]: view of resource from Ash Lane
Source: Google Earth Pro

HNTB Draft



Resource 202 (HHM) [16c (HNTB)]: 1950 reissue of 1922 Sanborn vol. 4, sheet 418

Red line showing Resource 16, yellow line showing Resource 16c, blue line showing now-demolished building

Source: Library of Congress

HNTB Draft HRSR 2022

Resource 202 (HHM) [16c (HNTB)]: 2021 aerial photograph
Red line showing Resource 16 and yellow line showing footprint of Resource 16c
Source: Google Earth Pro

HNTB Draft HRSF

Survey Date:	8/4/2020 (Canyon)	
Resource No:	**203A (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	4000 ASH LN, 32.785103999999997/ -96.767004999999997489	
Function/ Subfunction:	Commercial	Food processing plant
Form:	Rectangular	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1963 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	IH 30 Canyon (2020) (Not Eligible)	
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance, Lacks integrity	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	Some cargo bays infilled	
Integrity Notes:		
Effect:	None	

Resource No. 203A (6DE78BA4-0484-4096-822D-D22535A33D2D.jpeg)

Resource No. 203A (F3DDE558-B3E5-4426-8E56-77C408C5C981.jpeg)	

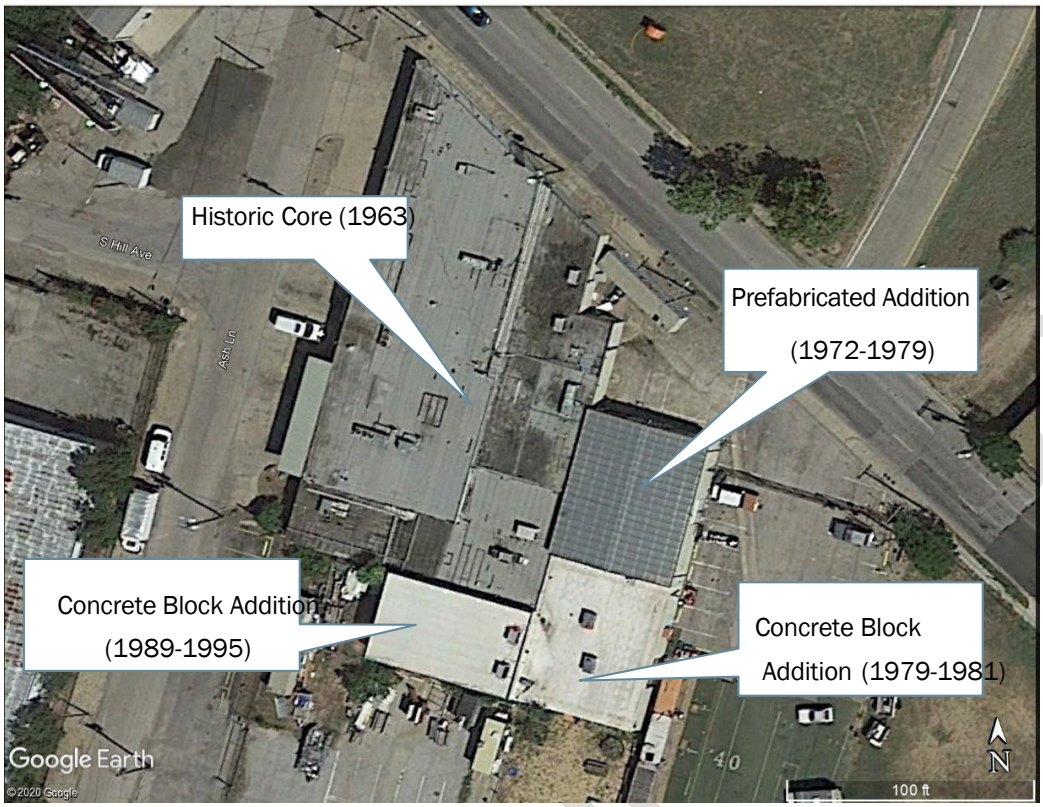
Survey Date:	8/4/2020 (Canyon)	
Resource No:	**203B (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	4000 ASH LN, 32.784810999999998/ -96.766761000000002487	
Function/ Subfunction:	Commercial	Food processing plant
Form:	Rectangular	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1963 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	IH 30 Canyon (2020) (Not Eligible)	
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance, Lacks integrity	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	Some windows infilled	
Integrity Notes:		
Effect:	None	

Resource No. 203B (8E968BB0-A9B5-44CF-8D05-5FBDDBF40A9E.jpeg)

Resource No. 203B (B9AE1C8E-8F8A-4F01-810D-683F548532D3.jpeg)	

Survey Date:	8/4/20
Resource No:	203A, 203B (HHM) [31 (I-30 Canyon 2020)]
Project Location:	Dallas County
Project Name and CSJ:	IH 30 Canyon Improvements Project; 0009-11-254
Address, Lat/Long:	4000 Ash Lane; 32.78501 -96.76698
Function/Sub-function:	Commercial/Warehouse; Commercial/Restaurant
Construction Date:	1963
NRHP Eligibility:	Not Eligible
Integrity/Comments:	Resources 203A-203B include a one-story food processing plant with multiple additions. Archived scripts held in the NBC News Scripts series of the Portal to Texas History website indicate that the building at 4000 Ash Lane housed the Patterson Brothers Meat Company in 1970. According to the company website, Patterson Food Processors (formerly Patterson Brothers Meat Company) was founded in 1946 when Charlie and Huby Patterson rented space in a Dallas ice plant. The company currently operates a plant in Fort Worth. The historic-age core of Resources 203A-203B were constructed in 1963 and rest on a concrete slab foundation. The building is clad in running bond brick veneer and features historic-age fixed windows in steel frames along its western elevation. Multiple cargo bays and historic-age metal pedestrian entrances are also located on this western elevation. Several of these cargo bays have been infilled with brick and glass blocks. A review of aerial photographs allowed researchers to estimate construction dates for design changes at Resources 203A-203B. Additions to the historic-age core of Resources 203A-203B include a prefabricated metal building constructed between 1972 and 1979, a concrete block addition constructed between 1979 and 1981, and a second concrete block addition constructed between 1989 and 1995 (see site plan in photographs). Resources 203A-203B's multiple additions have been adapted for a variety of uses. While the historic-age core appears to operate as a warehouse, the building's addition is occupied by a restaurant. The building stands in a large paved lot adjacent to the Santa Fe/Deep Ellum walking trail, a recreation space converted from a historic-age rail line. Resources 203A-203B retain integrity in the area of location and setting only. The property stands in its original location and retains a commercial setting. Integrity in the areas of design, workmanship, and materials has been reduced through the construction of multiple non-historic additions and the infilling of cargo bays on the resource's historic-age core. These design changes have impacted Resources 203A-203B's integrity in the areas of feeling and association. With its multiple design changes, the property no longer evokes a sense of 1960s commercial life Dallas. Without a direct link to its past as a commercial food processing plant, Resources 203A-203B do not retain integrity in the area of association. While the Patterson Brothers Meat Company has operated in the Dallas-Fort Worth area since 1946, researchers did not uncover evidence that Resources 203A-203B are associated with any significant contributions that the company made to history in the area of commerce. Therefore, the building is recommended not eligible under Criterion A. Research did not reveal any associations between Resources 203A-203B and any individuals that have made significant contributions to local, state, or national history. Therefore, Resources 203A-203B are recommended not eligible under Criterion B. Resources 203A-203B were evaluated under Criterion C and are not an example of an academic architectural type or style. Additionally, design changes, including the infilling of cargo bays and the construction of non-historic additions, have reduced the property's integrity and ability to convey significance. Therefore, Resources 203A-203B are recommended not eligible under Criterion C.

I-30 CANYON HHR 2020



Resources 203A-203B: site plan
Source: Google Earth Pro, image dated 2020 (accessed 8/28/2020)

Resources 203A-203B: view east toward west elevation

Resources 203A-203B: view south toward north elevation

Resources 203A-203B: view north toward south elevations of concrete block additions

Survey Date:	8/5/2020 (Canyon)	
Resource No:	**204 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	619 S HILL AVE, 32.784865000000003/ -96.767668999999998488	
Function/ Subfunction:	Commercial	Warehouse
Form:	Rectangular	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1974 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	IH 30 Canyon (2020) (Not Eligible)	
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 204 (8195FA96-6E95-46DE-A1BC-6FA7AAED6797.jpeg)

Resource No. 204 (C7255E0D-99BC-40DA-BE0F-D90D9F1B66E8.jpeg)	

Survey Date:	8/5/20
Resource No:	204 (HHM) [30 (I-30 Canyon 2020)]
Project Location:	Dallas County
Project Name and CSJ:	IH 30 Canyon Improvements Project; 0009-11-254
Address, Lat/Long:	619 South Hill Avenue; 32.78483 -96.76769
Function/Sub-function:	Commerce/Warehouse
Construction Date:	1974
NRHP Eligibility:	Not Eligible
Integrity/Comments:	Resource 204 is a pre-engineered steel framed building clad in standing seam metal panels and covered by a gable roof. Rolling metal doors cover garage doors on the building's north and south elevations. Windows on the east and west sides of the building are obscured by security bars. Resource 204 is of a utilitarian design and does not exhibit any character- defining architectural elements. The building stands adjacent to IH 30 in a commercial portion of Dallas. Resource 204 appears to retain integrity in the areas of location, setting, design, materials, and workmanship. The property stands in its original location within a commercial setting. Resource 204 appears to retain its original utilitarian design and historic-age exterior materials. The property lacks integrity in the areas of feeling and association. With no character-defining architectural elements, the building does not evoke a sense of life in a particular time period nor does it possess a direct link to the past. Research did not reveal an association between Resource 204 and any events or people that have made significant contributions to history in Dallas. Therefore, the property is recommended not eligible under Criteria A or B. The property was evaluated under Criterion C and is recommended not eligible. The building does not represent a distinctive type or style nor, does it embody design elements of a particular time period.

Resource 204 (HHM) [30 (I-30 Canyon 2020)]: view southwest toward north and east elevations

I-30 Canyon IRS 2020

Resource 204 (HHM) [30 (I-30 Canyon 2020)]: view northeast toward south and west elevations

I-30 Canyon HRSR 2020

Survey Date:	12/28/2022	
Resource No:	**205 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	800 S HASKELL AVE, 32.784784000000002/ -96.765810000000002485	
Function/ Subfunction:	Commercial	Warehouse
Form:	Rectangular	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1947 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance, Lacks integrity	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	All windows replaced, Canopy altered/replaced	
Integrity Notes:		
Effect:	None	

Resource No. 205 (5C546BDE-EE84-497D-8B15-30420A9E54FA.jpeg)

Resource No. 205 (F223BF32-3603-4F36-8401-36FDC9D15448.jpeg)	

Survey Date:	12/28/2022	
Resource No:	**206 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	722 S HASKELL AVE, 32.785040000000002/ -96.766041000000001486	
Function/ Subfunction:	Commercial	Warehouse
Form:	Rectangular	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1952 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	Doors replaced	
Integrity Notes:		
Effect:	None	

Resource No. 206 (54CA36AB-FC28-44C7-BFC0-401D1F4C3FF1.jpeg)

Resource No. 206 (31590B88-10F5-4922-9FCF-82F071C14BD0.jpeg)	

Survey Date:	12/28/2022	
Resource No:	**207 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	800 S HASKELL AVE, 32.7849/ -96.765634000000006484	
Function/ Subfunction:	Commercial	Warehouse
Form:	Rectangular	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1970 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance, Lacks integrity	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	Exterior wall materials covered/slip cover, Doors replaced	
Integrity Notes:		
Effect:	None	

Resource No. 207 (65C923C7-4CE1-49FE-9509-B2AB13AD5624.jpeg)

Resource No. 207 (90A0B11A-737D-4C1E-BA63-F2A14355677E.jpeg)	

Survey Date:	12/28/2022	
Resource No:	**208 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	4113 GARLAND AVE, 32.785262000000003/ -96.765861000000001483	
Function/ Subfunction:	Commercial	Warehouse
Form:	Rectangular	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1962 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance, Lacks integrity	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	Doors replaced	
Integrity Notes:		
Effect:	None	

Resource No. 208 (EBFE8DFB-CE23-44EC-9761-F3F40581CB81.jpeg)

Resource No. 208 (C7BE1B62-0011-420B-83FA-3B444D36E4A5.jpeg)	

Survey Date:	12/28/2022	
Resource No:	**209 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	718 FLETCHER ST, 32.785755999999999/ -96.765441999999993478	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	Craftsman	
Construction Date:	1926 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance, Lacks integrity	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		Side addition
Integrity Notes:		
Effect:	None	

Resource No. 209 (1D40695F-58B0-4E05-80AA-2A46F3093C38.jpeg)

Resource No. 209 (66BAE05C-5A14-4385-B331-9F4863199BDB.jpeg)	

Survey Date:	12/28/2022	
Resource No:	**210 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	714 FLETCHER ST, 32.785840999999998/ -96.765559999999994479	
Function/ Subfunction:	Residential	Single-family house
Form:	Square plan hipped-roof	
Stylistic Influence(s):	National Folk	
Construction Date:	1926 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Individually eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	Criterion C, Architecture, Local level of significance	
Alterations/Additions:	Sidelights and transoms boarded, Porch materials possibly replaced	
Integrity Notes:		
Effect:	None	

Resource No. 210 (E69E24F7-45A0-4D2D-91EF-080F18C2E848.jpeg)

Resource No. 210 (DFED570B-1A65-4E77-8867-6FA2236D317B.jpeg)	

Survey Date:	12/28/2022	
Resource No:	**211 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	710 FLETCHER ST, 32.785955999999999/ -96.765675999999999480	
Function/ Subfunction:	Residential	Single-family house
Form:	Modified L-plan	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1926 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks integrity	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	All windows replaced, Exterior wall materials replaced, Fenestration pattern altered, Porch altered	
Integrity Notes:		
Effect:	None	

Resource No. 211 (38DD82EE-56D6-44AC-A9CB-67E20119D52A.jpeg)

Resource No. 211 (B7D2C423-0A2A-4DF5-AA76-0DC19ED651D4.jpeg)	

Survey Date:	12/28/2022	
Resource No:	**212 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	708 FLETCHER ST, 32.786047000000003/ -96.765804000000003481	
Function/ Subfunction:	Residential	Single-family house
Form:	Modified L-plan	
Stylistic Influence(s):	National Folk	
Construction Date:	1926 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks integrity	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	All windows replaced, Porch altered	Rear addition
Integrity Notes:		
Effect:	None	

Resource No. 212 (740B5609-502C-491F-9CE0-803855F34677.jpeg)

Survey Date:	12/28/2022	
Resource No:	**213A (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	704 FLETCHER ST, 32.786129000000003/ -96.765942999999993482	
Function/ Subfunction:	Residential	Single-family house
Form:	Modified L-plan	
Stylistic Influence(s):	National Folk	
Construction Date:	1901 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Alterations partially within period of significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	Exterior wall materials replaced, Porch enclosed, Doors replaced	
Integrity Notes:	Alterations partially within period of significance	
Effect:	None	

Resource No. 213A (062756D0-F01A-4D3D-BAFD-79401AC85ED0.jpeg)

Resource No. 213A (BD038096-B2C1-49E6-A295-D449B8C95235.jpeg)	

Survey Date:	1/13/2023	
Resource No:	**213B (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	704 FLETCHER ST, 32.786265999999998/ -96.765711999999994136	
Function/ Subfunction:	Residential	Shed
Form:	Rectangular	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1940 (In field estimate)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	Windows and doors boarded	
Integrity Notes:		
Effect:	None	

Resource No. 213B (704 Fletcher B.jpg)

Survey Date:	12/28/2022	
Resource No:	**214 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	723 S PEAK ST, 32.786239999999999/ -96.764964000000006475	
Function/ Subfunction:	Commercial	Office
Form:	Mid-rise box	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1967 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks integrity	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	All windows replaced, Doors replaced	Side addition
Integrity Notes:		
Effect:	None	

Resource No. 214 (217A5C3E-03D2-45AC-B675-1E91CC0BFF5D.jpeg)

Resource No. 214 (EB9FAEF5-4D41-4F06-9B46-5508C369BDF0.jpeg)	

Survey Date:	12/28/2022	
Resource No:	**215 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	4224 ASH LN, 32.786501000000001/ -96.765474999999995477	
Function/ Subfunction:	Commercial	Gas station
Form:	Box with Canopy	
Stylistic Influence(s):	Commercial	
Construction Date:	1967 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	Bankhead Highway (2013), IH 30 Canyon (2020) (Not Individually Eligible (2013), Not Eligible (2020))	
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks integrity	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	Service bays enclosed, Canopy replaced, Roof form altered	Side addition
Integrity Notes:		
Effect:	None	

Resource No. 215	***See photos on following pages.***

Survey Date:	8/4/20
Resource No:	215 (HHM) [35 (I-30 Canyon 2020)]
Project Location:	Dallas County
Project Name and CSJ:	IH 30 Canyon Improvements Project; 0009-11-254
Address, Lat/Long:	4224 Ash Lane; 32.78650 -96.76549
Function/Sub-function:	Commercial/Restaurant
Construction Date:	1967
NRHP Eligibility:	Not Eligible
Integrity/Comments:	Based on descriptions in the TxDOT historical studies report *A Field Guide to Gas Stations in Texas*, Resource 215 appears to be a former Humble/Enco gas station following the house with canopy form. Remaining character defining features of the Humble/Enco brand include the building's low-pitched gable roof, brick veneer exterior, and the decorative beams extending from the deep eaves of the gable roof. According to an informal interview with the property owner, Resource 215 was converted into the Joe's Seafood restaurant in the 1980s. During the non-historic period, the building's service bays were removed; the remaining void was enclosed with a sunroom. A mansard roof was added to the gas station and the building's canopy was removed and replaced with an open frame porch. An addition was added to the building's southwest side. Resource 215 stands in an urban section of Dallas with surrounding lots containing a mix of historic-age and non-historic commercial properties. A review of aerial photographs shows that the area surrounding the resource in the historic period contained dense residential development. Resource 215 retains integrity in the area of location. The property stands at its original location. Integrity in the area of setting has been diminished as historic-age dwellings adjacent to the resource have been demolished and the former residential neighborhood has transitioned into a commercial corridor. The changes the exterior of Resource 215 has reduced integrity in the areas of materials, design, and materials. The removal of the building's character-defining canopy has severely diminished its integrity and ability to convey significance. Without its historic design intact, Resource 215 does not evoke a sense of mid-twentieth century commercial life nor does it possess a direct link to its past as a 1960s gas station. Therefore, Resource 215 does not possess integrity in the area of feeling of association. Research did not reveal that Resource 215 has any associations with events or people that have made significant contributions to history. Therefore, the resource is recommended not eligible under Criteria A or B. The building was evaluated under Criterion C as a house with canopy gas station and is recommended not eligible due to its lack of integrity. The multiple design changes to Resource 215 including the removal of the canopy and construction of a porch have reduced integrity and diminished the property's ability to convey significance.

I-30 Canyon HHSR 2020

Resource 215 (HHM) [35 (I-30 Canyon 2020)]: view south toward northeast and northwest elevations

I-30 Canyon

Resource 215 (HHM) [35 (I-30 Canyon 2020)]: view east of southwest and northwest elevations

I-30 Canyon

Survey Date:	8/4/2020 (Canyon)	
Resource No:	**216A (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	700 S PEAK ST, 32.786999000000002/ -96.764970000000005476	
Function/ Subfunction:	Commercial	Gas station
Form:	Oblong Box with Canopy	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1964 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	Bankhead Highway (HHM, 2013), IH 30 Canyon (2020) (Not Individually Eligible (2013), Not Eligible (2020))	
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks integrity	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	Service bay enclosed, original siding covered, window replacement	
Integrity Notes:		
Effect:	None	

Resource No. 216A	***See photos on following pages.***

Survey Date:	8/4/2020 (Canyon)	
Resource No:	**216B (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	700 S PEAK ST, 32.78689/ -96.765148999999994135	
Function/ Subfunction:	Commercial	Gas station
Form:	Rectangular	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1964 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	Bankhead Highway (HHM, 2013), IH 30 Canyon (2020) (Not Individually Eligible (2013), Not Eligible (2020))	
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 216B	***See photos on following pages.***

Survey Date:	8/4/20
Resource No:	216A, 216B (HHM) [36 (I-30 Canyon 2020)]
Project Location:	Dallas County
Project Name and CSJ:	IH 30 Canyon Improvements Project; 0009-11-254
Address, Lat/Long:	700 South Peak Street; 32.78700 -96.76500
Function/Sub-function:	Commercial/Gas Station
Construction Date:	1964
NRHP Eligibility:	Not Eligible
Integrity/Comments:	Resources 216A-216B include an oblong box gas station with canopy. According to tax history information on the DCAD website, the gas station served as a FINA in 1999. While the oblong box with canopy form was used by several fuel companies in Texas, Resources 216A-216B do not exhibit additional architectural characteristics associated with a local or national brand referenced in the TxDOT historical studies report *A Field Guide to Gas Stations in Texas*. Resources 216A-216B encompass a rectilinear building standing on a concrete slab foundation. The building is clad in non-historic engineered wood and an unadorned metal parapet. Historic-age glass doors and fixed windows in aluminum frames are located on the building's southwest and northwest sides. Along the northwest side, historic-age service bays have been infilled with non-historic engineered wood siding and fixed windows. The two canopies present at Resources 216A-216B are supported by metal poles and covered with unadorned metal parapets. Resources 216A-216B stand in an urban section of Dallas with surrounding lots containing a mix of historic-age and non-historic commercial properties. A review of aerial photographs shows that the area surrounding the resources in the historic period contained dense residential development. Resources 216A-216B retain integrity in the area of location only. The property stands at its original location. Integrity in the area of setting has been diminished as historic-age dwellings adjacent to the resources have been demolished and the former residential neighborhood has transitioned into a commercial corridor. Changes to the exterior of Resources 216A-216B have reduced integrity in the areas of materials, design, and materials. Without their historic design intact, Resources 216A-216B do not evoke a sense of mid-twentieth century commercial life nor do they possess a direct link to their past as a 1960s gas station. Therefore, the property does not possess integrity in the area of feeling or association. Research did not reveal that Resources 216A-216B have any associations with events or people that have made significant contributions to history. Therefore, the resources are recommended not eligible under Criteria A or B. The building was evaluated under Criterion C as an oblong box with canopy gas station and is recommended not eligible due to its lack of integrity. Design changes including the infilling of service bays and changes to the historic-age cladding at Resources 216A-216B have eliminated their ability to convey significance.

I-30 Canyon HHM 2020

Resource 216A, 216B (HHM) [36 (I-30 Canyon 2020)]: view south toward northwest and northeast elevations

I-30 Canyon

Resource 216A, 216B (HHM) [36 (I-30 Canyon 2020)]: view east toward southwest and northwest elevations

I-30 Canyon

Survey Date:	1/26/2022 (HNTB)	
Resource No:	**217 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	4324 ASH LN, 32.787396000000001/ -96.764605000000003474	
Function/ Subfunction:	Commercial	Commercial
Form:	Rectangular	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1965 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	I-30 East Corridor Project (HNTB, Sept. 2022, Resource #78) (Not eligible)	
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance, Lacks integrity	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	Siding partially replaced, Some windows replaced, Some doors replaced	
Integrity Notes:		
Effect:	None	

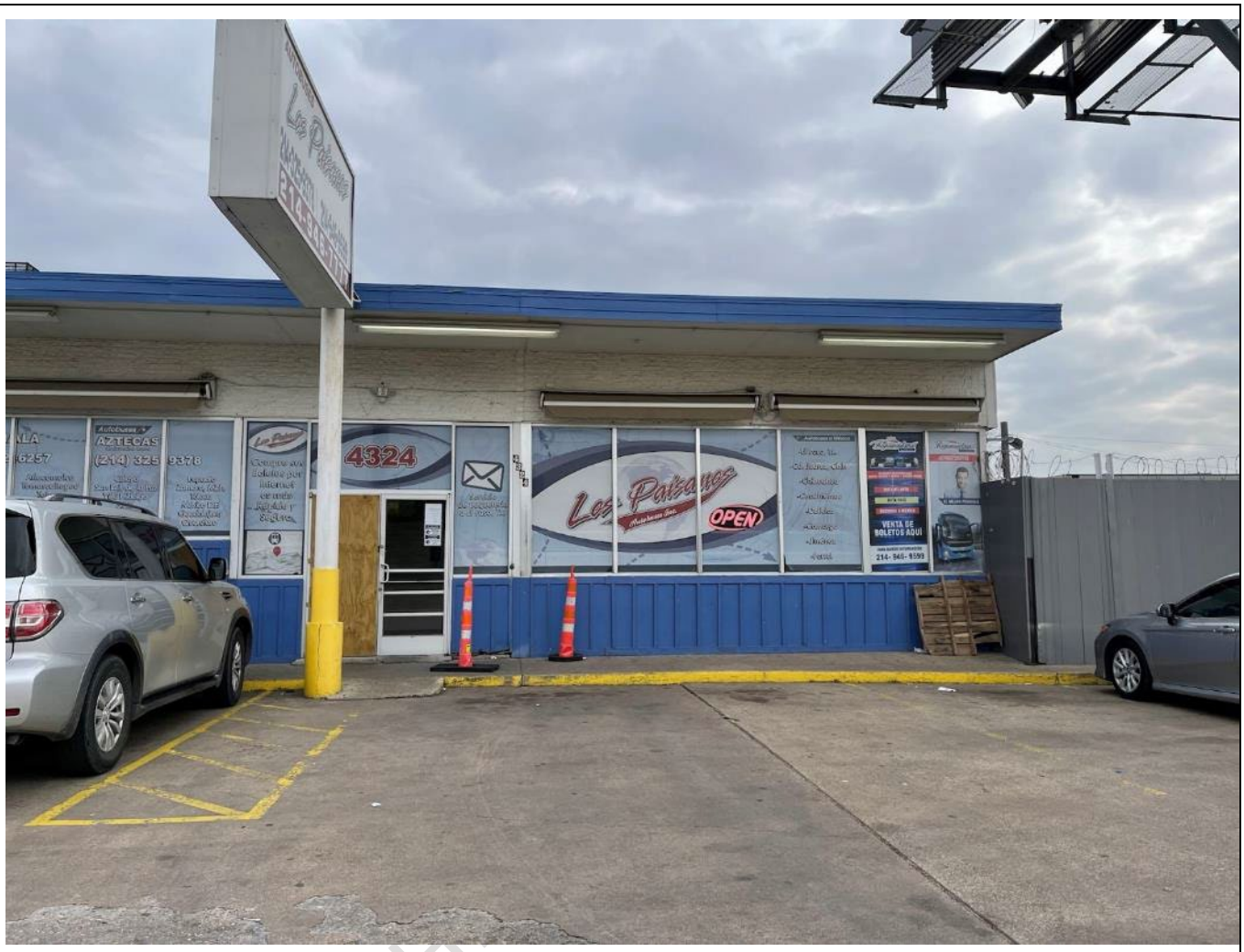
Resource No. 217	***See photos on following pages.***

Survey Date:	01/26/2022
Resource No:	217 (HHM) [78 (HNTB)]
Project Location:	Dallas
Project Name and CSJ:	I-30 East Corridor Project; 0009-11-252
Address, Lat/Long:	4324 Ash Lane; 32.787327, -96.764592
Function/Sub-function:	Commercial
Construction Date:	1965
NRHP Eligibility:	Not Eligible
Integrity/Comments:	Resource 217 is a single-story, narrow, rectangular commercial building with a flat projecting roof and an exterior clad in roman brick that has been painted. The west end of the façade features a wide metal and fixed glass storefront with a double door entry. At the time of survey, the left entry door was covered with plywood. All the plate glass windows have been covered with vinyl cling advertisements. The area below the storefront is clad in non-historic board-and-batten that has been painted. It could not be determined whether the glass and metal storefront was original, but the application of non-historic board-and-batten suggests that a larger storefront with full-height plate glass windows may have originally been located there. A non-historic metal slab door is the only opening on the east elevation. There are no openings on the rear elevation. The west elevation was hidden behind privacy fencing and could not be evaluated. Resource 217 sits on a paved lot with no landscaping. Resource 217 retains integrity in the aspects of location and setting because it has not been moved, and its viewshed remains largely unchanged from its 1965 construction. The application of non-historic board-and-batten siding, painting the historic-age roman brick, and the likely replacement of the original metal and glass storefront has compromised the resource's integrity of materials, design, and workmanship. Though the resource is a mid-20th century commercial building built in response to the construction of I-30, it expresses no character-defining features of any architectural type or style. As such, it does not possess integrity in the aspects of feeling or association. Therefore, Resource 217 is recommended not eligible for the NRHP under Criterion C. Resource 217 does not appear to have an association with significant historical events or individuals important to development of Dallas, Texas. Therefore, Resource 217 is not recommended eligible for the NRHP under Criteria A or B.

HNTB Draft HRSR September 2022

Resource 217 (HHM) [78 (HNTB)]: view of façade oblique, facing southwest

HNTB Draft



Resource 217 (HHM) [78 (HNTB)]: view of metal and glass storefront and non-historic board-and-batten siding, facing southeast

HNTB Draft

Resource 217 (HHM) [78 (HNTB)]: façade oblique, facing east

HNTB Draft

Survey Date:	1/01/2023	
Resource No:	**218 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	4402 ASH LN, 32.787616999999997/ -96.764021204	
Function/ Subfunction:	Commercial	Commercial
Form:	Rectangular	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1972 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	I-30 East Corridor Project (HNTB, Sept. 2022, Resource #79) (Not eligible)	
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance, Lacks integrity	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	Canopy added, windows replaced, storefront altered	
Integrity Notes:		
Effect:	None	

Resource No. 218	***See photos on following pages.***

Survey Date:	01/26/2022
Resource No:	218 (HHM) [79 (HNTB)]
Project Location:	Dallas
Project Name and CSJ:	I-30 East Corridor Project; 0009-11-252
Address, Lat/Long:	4402 Ash Lane; 32.787588, -96.763905
Function/Sub-function:	Commercial
Construction Date:	1972
NRHP Eligibility:	Not Eligible
Integrity/Comments:	Resource 218 is single-story commercial building with a flat roof and an exterior clad in roman brick. The façade features a shallow mansard porch that appears to be original with Western-style square wood supports that are not historic-age. A parapet advertisement panel is mounted above the mansard porch and does not appear to be historic-age. The façade contains two separate storefronts. The east storefront is metal and fixed glass with double doors and appears to be original. The west storefront is recessed and accessed by a non-historic decorative metal security gate. Also present on the façade are several sets of tripartite, metal and plate glass windows that appear to be original. The westernmost set has been partially painted and lettered over. A small, sliding service window has also been installed in one of the plate-glass windows; the remaining area within the opening has been covered with plywood. A bricked-in window opening is present on the east elevation. No other openings are noted there. A window and two metal slab doors are on the west elevation, and two metal slab doors are on the rear elevation. Resource 79 sits on a paved lot with no landscaping. Portions of the building are set above grade on a poured concrete foundation that creates a wraparound walkway. Resource 218 retains integrity in the aspects of location and setting because it has not been moved, and its viewshed remains largely unchanged from its 1972 construction. The installation of visually obstructive non-historic porch supports, painting the historic-age roman brick, enclosing a window on the east elevation, and the replacement one of the original metal and glass storefront has compromised the resource's integrity of materials, design, and workmanship. Though the resource is a mid-20th century commercial building built in response to the construction of I-30, it expresses no character-defining features of any architectural type or style. As such, it does not possess integrity in the aspects of feeling or association. Therefore, Resource 79 is recommended not eligible for the NRHP under Criterion C. Resource 218 does not appear to have an association with significant historical events or individuals important to development of Dallas, Texas. Therefore, Resource 218 is not recommended eligible for the NRHP under Criteria A or B.

HNTB Draft HRSR October 2022

Resource 218 (HHM) [79 (HNTB)]: view of façade oblique facing southwest, showing enclosed window on east elevation

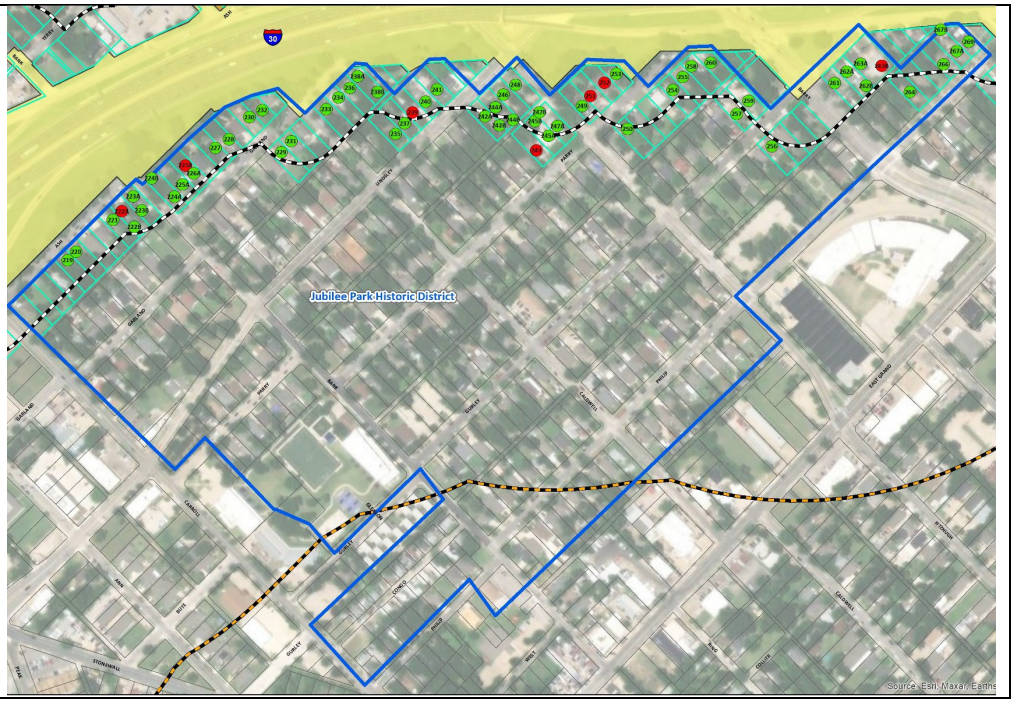
HNTB Draft

Resource 218 (HHM) [79 (HNTB)]: view of façade showing non-historic porch supports and parapet advertisement panel, facing southeast

HNTB Draft

Survey Date:	12/27/2022 (HHM)
District Name:	**JUBILEE PARK HISTORIC DISTRICT (HHM)**
Resource Nos.:	**219-264, 266-267B, 269**
Project Location:	Dallas County, Dallas District
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251
Rough Boundaries:	Ash Lane on the northwest, the E R L Thornton Access Road on the north, Philip Avenue on the southeast, and S. Carroll Avenue on the southwest
Functions/ Subfunctions:	Residential, Religious
Forms:	Bungalow, Shotgun
Stylistic Influence(s):	National Folk, Craftsman, None
Construction Dates:	1910-1973 (Appraisal district)
NRHP Eligibility:	Eligible as a district
NR District, Status:	Jubilee Park,
Criteria, Notes:	Criterion A, Ethnic Heritage, Community Planning & Development, Local level of significance; Period of significance 1910-1973
Alterations/ Additions:	
Integrity Notes:	
Effect:	De minimis ROW acquisition (no adverse effect) at rear of parcel encompassing contributing resource at 5115 Philip Avenue (Resource ID 269)

Overview map showing the recommended Jubilee Park Historic District. Boundary shown in blue, contributing resources in green, noncontributing resources in red. See Appendix D for a larger-scale map and legend.



Recommended Jubilee Park Historic District, contextual photos (outside of APE).

Survey Date:	12/28/2022	
Resource No:	**219 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	4518 ASH LN, 32.788564000000001/ -96.762805999999998469	
Function/ Subfunction:	Residential	Single-family house
Form:	Square plan hipped-roof	
Stylistic Influence(s):	National Folk	
Construction Date:	1915 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Jubilee Park, Contributing	
Criteria, Notes:	Criterion A, Ethnic Heritage, Community Planning & Development, Local level of significance	
Alterations/Additions:	All windows replaced, Porch partially enclosed, Doors replaced	
Integrity Notes:	Alterations likely within period of significance	
Effect:	None	

Resource No. 219 (B944F3B3-43B4-4E9E-928B-D674BFFA15E0.jpeg)	

Resource No. 219 (D46E81D2-4D75-412D-B459-CCA4B02C5A1C.jpeg)	

Survey Date:	12/28/2022	
Resource No:	**220 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	4520 ASH LN, 32.788637999999999/ -96.762715999999998470	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	Tudor Revival	
Construction Date:	1925 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Jubilee Park, Contributing	
Criteria, Notes:	Criterion A, Ethnic Heritage, Community Planning & Development, Local level of significance	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 220 (CB1AABF5-5BA0-415D-A606-BE6F4E6B50E5.jpeg)

Resource No. 220 (75FA3A9C-5887-4419-A402-65A8F6EFFEEF.jpeg)	

Survey Date:	12/28/2022	
Resource No:	**221 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	4532 ASH LN, 32.788921000000002/ -96.762327999999997471	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1916 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Jubilee Park, Contributing	
Criteria, Notes:	Criterion A, Ethnic Heritage, Community Planning & Development, Local level of significance	
Alterations/Additions:	All windows replaced	
Integrity Notes:		
Effect:	None	

Resource No. 221 (C4F63E48-0980-48C3-99EE-1289C2E5A22F.jpeg)

Resource No. 221 (F4A7E481-DED7-4750-AE81-5F2350DAF424.jpeg)	

Survey Date:	12/28/2022	
Resource No:	**222A (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	4536 ASH LN, 32.788997999999999/ -96.762232999999995472	
Function/ Subfunction:	Residential	Single-family house/ Church
Form:	Bungalow	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1913 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Lacks integrity	
NR District, Status:	Jubilee Park, Noncontributing	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	All windows replaced, Exterior wall materials replaced, Fenestration pattern altered, Porch altered, Doors replaced	
Integrity Notes:		
Effect:	None	

Resource No. 222A (F011E974-7144-4909-97D2-D3FFFDD47F01.jpeg)

Resource No. 222A (02BFB8BC-BAE3-4AC3-8B4B-9B112B8452C9.jpeg)	

Survey Date:	1/13/2023	
Resource No:	**222B (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	4536 ASH LN, 32.78886/ -96.762101999999999134	
Function/ Subfunction:	Residential	Back house
Form:	Foursquare	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1920 (In field estimate)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Jubilee Park, Contributing	
Criteria, Notes:	Criterion A, Ethnic Heritage, Community Planning & Development, Local level of significance	
Alterations/Additions:	Some windows replaced	
Integrity Notes:		
Effect:	None	

Resource No. 222B (7F636D78-80A0-45F1-AC94-9C6105B60598.jpeg)

Resource No. 222B (2A8BB14C-0525-44CD-A369-F4B43EA38236.jpeg)	

Survey Date:	12/28/2022	
Resource No:	**223A (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	4540 ASH LN, 32.789130999999998/ -96.762112999999999473	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	Craftsman	
Construction Date:	1913 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Jubilee Park, Contributing	
Criteria, Notes:	Criterion A, Ethnic Heritage, Community Planning & Development, Local level of significance	
Alterations/Additions:	Some windows replaced	
Integrity Notes:		
Effect:	None	

Resource No. 223A (9B61CD94-320A-4CF4-8225-AB3E0E7C4C75.jpeg)

Resource No. 223A (395B6240-A127-43A4-82EA-D28DE974098E.jpeg)	

Survey Date:	1/13/2023	
Resource No:	**223B (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	4540 ASH LN, 32.789006000000001/ -96.762021000000004133	
Function/ Subfunction:	Residential	Shed
Form:	Rectangular	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1930 (In field estimate)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Jubilee Park, Contributing	
Criteria, Notes:	Criterion A, Ethnic Heritage, Community Planning & Development, Local level of significance	
Alterations/Additions:	Exterior wall materials replaced	
Integrity Notes:		
Effect:	None	

Resource No. 223B (1F8A6BBC-3435-4A38-80C4-38DAF40DF80C.jpeg)

Resource No. 223B (806F6D54-6181-4E70-BBAE-299B89A58A36.jpeg)	

Survey Date:	12/28/2022	
Resource No:	**224B (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	4601 GARLAND AVE/614 BANK ST, 32.789292000000003/ -96.761916999999997464	
Function/ Subfunction:	Residential	Back house
Form:	Bungalow	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1913 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Jubilee Park, Contributing	
Criteria, Notes:	Criterion A, Ethnic Heritage, Community Planning & Development, Local level of significance	
Alterations/Additions:	All windows replaced, Exterior wall materials replaced, Doors replaced	
Integrity Notes:		
Effect:	None	

Resource No. 224B (B8FCAFEB-FD12-4618-B079-CD8F5172EB2E.jpeg)

Resource No. 224B (3805D7C0-58BA-400F-84A0-F8DED3F4F7D5.jpeg)	

Survey Date:	12/28/2022	
Resource No:	**224A (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	4601 GARLAND AVE, 32.789127999999998/ -96.761673000000002467	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	Craftsman	
Construction Date:	1913 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Jubilee Park, Contributing	
Criteria, Notes:	Criterion A, Ethnic Heritage, Community Planning & Development, Local level of significance	
Alterations/Additions:	All windows replaced, Exterior wall materials replaced, Doors replaced	
Integrity Notes:		
Effect:	None	

Resource No. 224A (BDD60CA2-24CE-4772-A971-7692CC6DF4A3.jpeg)

Resource No. 224A (CB20FD0D-15C6-4F8D-A3E1-37595A4FEFA6.jpeg)	
Resource No. 224A (0326E6B1-22EB-44D2-A353-414F2E6261E5.jpeg)	

Survey Date:	1/13/2023	
Resource No:	**225B (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	4607 GARLAND AVE, 32.789406/ -96.76156000000000312	
Function/ Subfunction:	Residential	Shed
Form:	Rectangular	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1938	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Lacks integrity	
NR District, Status:	Jubilee Park, Noncontributing	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		
Integrity Notes:	Limited visibility	
Effect:	None	

Resource No. 225B (4607 Garland B.jpg)

Survey Date:	12/28/2022	
Resource No:	**225A (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	4607 GARLAND AVE, 32.789236000000002/ -96.761590999999996468	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1938 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Jubilee Park, Contributing	
Criteria, Notes:	Criterion A, Ethnic Heritage, Community Planning & Development, Local level of significance	
Alterations/Additions:	All windows replaced	Side carport addition
Integrity Notes:		
Effect:	None	

Resource No. 225A (1671DF88-0321-4197-B9AE-FB3E7F6F1D41.jpeg)

Resource No. 225A (761BBFE2-617A-4C59-B16B-E1A926168F43.jpeg)	

Survey Date:	12/28/2022	
Resource No:	**226A (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	4609 GARLAND AVE, 32.789335999999999/ -96.761471466	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1930 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Jubilee Park, Contributing	
Criteria, Notes:	Criterion A, Ethnic Heritage, Community Planning & Development, Local level of significance	
Alterations/Additions:	All windows replaced, Exterior wall materials replaced, Porch altered, Doors replaced	
Integrity Notes:		
Effect:	None	

Resource No. 226A (E28D5FFE-CCD4-4016-8C74-D5163DEF7D40.jpeg)

Resource No. 226A (15D59C7A-1A14-4459-B0A6-1E4A1FBCE654.jpeg)	

Survey Date:	1/13/2023	
Resource No:	**226B (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	4609 GARLAND AVE, 32.789473000000001/ -96.76168513	
Function/ Subfunction:	Residential	Garage
Form:	Rectangular	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1930	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Jubilee Park, Contributing	
Criteria, Notes:	Criterion A, Ethnic Heritage, Community Planning & Development, Local level of significance; Based on context given limited visibility	
Alterations/Additions:		
Integrity Notes:	Limited visibility	
Effect:	None	

Resource No. 226B (4609 Garland B.jpg)

Survey Date:	12/28/2022	
Resource No:	**227 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	4617 GARLAND AVE, 32.789561999999997/ -96.761240000000001465	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1930 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Jubilee Park, Contributing	
Criteria, Notes:	Criterion A, Ethnic Heritage, Community Planning & Development, Local level of significance	
Alterations/Additions:	All windows replaced, Exterior wall materials replaced, Doors replaced	
Integrity Notes:		
Effect:	None	

Resource No. 227 (2490A846-F8C7-43F7-B6D2-9FF7111D54A3.jpeg)

Resource No. 227 (BA2DA800-C00B-4625-B82B-1AA608781901.jpeg)	

Survey Date:	12/28/2022	
Resource No:	**228 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	4701 GARLAND AVE, 32.789639000000001/ -96.761099000000002463	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1926 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Jubilee Park, Contributing	
Criteria, Notes:	Criterion A, Ethnic Heritage, Community Planning & Development, Local level of significance	
Alterations/Additions:	Screens replaced, Exterior wall materials replaced, Porch altered	
Integrity Notes:	Alterations within period of significance	
Effect:	None	

Resource No. 228 (C4D7692D-852F-440D-8478-0D75BCDDE38C.jpeg)

Resource No. 228 (5E671032-AB54-4782-A166-24BDC15FCDFC.jpeg)	

Survey Date:	12/28/2022	
Resource No:	**229 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	4710 GARLAND AVE, 32.789523000000003/ -96.760544999999993459	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	Craftsman	
Construction Date:	1924 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Jubilee Park, Contributing	
Criteria, Notes:	Criterion A, Ethnic Heritage, Community Planning & Development, Local level of significance	
Alterations/Additions:	All windows replaced, Exterior wall materials replaced, Porch materials replaced	
Integrity Notes:		
Effect:	None	

Resource No. 229 (760E38D4-F559-4B42-BF0C-609A767B5B6E.jpeg)

Resource No. 229 (08ED244C-E100-4A4F-81DB-22065225A7C7.jpeg)	

Survey Date:	12/28/2022	
Resource No:	**230 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	4711 GARLAND AVE, 32.789836000000001/ -96.760884000000004462	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1910 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Jubilee Park, Contributing	
Criteria, Notes:	Criterion A, Ethnic Heritage, Community Planning & Development, Local level of significance	
Alterations/Additions:	All windows replaced, Exterior wall materials replaced, Fenestration pattern altered	Side carport addition
Integrity Notes:		
Effect:	None	

Resource No. 230 (295D12CB-9F66-4804-8EB8-EF47F1AA2A15.jpeg)

Resource No. 230 (CBE0600C-4F49-4A74-96B4-323441C79BEF.jpeg)	

Survey Date:	12/28/2022	
Resource No:	**231 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	4714 GARLAND AVE, 32.789622000000001/ -96.760440000000003460	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	Craftsman	
Construction Date:	1916 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Jubilee Park, Contributing	
Criteria, Notes:	Criterion A, Ethnic Heritage, Community Planning & Development, Local level of significance	
Alterations/Additions:	All windows replaced	
Integrity Notes:		
Effect:	None	

Resource No. 231 (9FF32C48-6061-4ECE-874F-9487E0D83AE2.jpeg)	

Resource No. 231 (7FB8DEA3-C14B-4617-93FD-5BCA3FF025EC.jpeg)	

Survey Date:	12/28/2022	
Resource No:	**232 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	4715 GARLAND AVE, 32.789898999999998/ -96.760745461	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1910 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Jubilee Park, Contributing	
Criteria, Notes:	Criterion A, Ethnic Heritage, Community Planning & Development, Local level of significance	
Alterations/Additions:	All windows replaced, Exterior wall materials replaced, Doors replaced	
Integrity Notes:		
Effect:	None	

Resource No. 232 (851DEFDD-3B62-4C0C-A480-6362CEF3D0E9.jpeg)

Resource No. 232 (007B5C99-0D9F-4199-95F4-807912B0E4D3.jpeg)	

Survey Date:	12/28/2022	
Resource No:	**233 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	4802 GARLAND AVE, 32.789906999999999/ -96.760069999999999455	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	Craftsman	
Construction Date:	1919 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Jubilee Park, Contributing	
Criteria, Notes:	Criterion A, Ethnic Heritage, Community Planning & Development, Local level of significance	
Alterations/Additions:	Some windows replaced, Some exterior wall materials replaced	
Integrity Notes:		
Effect:	None	

Resource No. 233 (258A3CDC-6644-4636-A942-0FB796603396.jpeg)

Resource No. 233 (D953A6B6-C972-421C-A17D-A93AE6A8EBB8.jpeg)	

Survey Date:	12/28/2022	
Resource No:	**234 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	4806 GARLAND AVE, 32.790011/ -96.759939000000003456	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	Craftsman	
Construction Date:	1926 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Jubilee Park, Contributing	
Criteria, Notes:	Criterion A, Ethnic Heritage, Community Planning & Development, Local level of significance	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 234 (908C0172-4BDE-48CD-B809-F901BD526555.jpeg)	

Resource No. 234 (58055F80-875B-41A1-A37E-D8773CBE9218.jpeg)	
Resource No. 234	***See photos on following pages.***

Survey Date:	12/28/2022	
Resource No:	**235 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	4811 LINDSLEY AVE, 32.789687000000001/ -96.759337000000002454	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	Craftsman	
Construction Date:	1921 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Jubilee Park, Contributing	
Criteria, Notes:	Criterion A, Ethnic Heritage, Community Planning & Development, Local level of significance	
Alterations/Additions:	All windows replaced, Exterior wall materials replaced	
Integrity Notes:	Alterations within period of significance	
Effect:	None	

Resource No. 235 (5C04C3CA-C7CE-418E-9D64-C47B65AA71A5.jpeg)

Resource No. 235 (2B196DA3-28A0-4F64-B5A0-0FCC0ADCEE06.jpeg)	

Survey Date:	12/28/2022	
Resource No:	**236 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	4808 GARLAND AVE, 32.790095999999998/ -96.759820000000005457	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	Craftsman	
Construction Date:	1926 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Jubilee Park, Contributing	
Criteria, Notes:	Criterion A, Ethnic Heritage, Community Planning & Development, Local level of significance	
Alterations/Additions:	Storm Windows added	
Integrity Notes:		
Effect:	None	

Resource No. 236 (A356BCB2-0BC1-40CB-9A4A-EFC719FC4D2A.jpeg)	

Resource No. 236 (3B351C03-1C36-48EA-8336-63D8A9BD132C.jpeg)	

Survey Date:	12/28/2022	
Resource No:	**237 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	4815 LINDSLEY AVE, 32.789780999999998/ -96.759238999999994453	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	Craftsman	
Construction Date:	1914 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Jubilee Park, Contributing	
Criteria, Notes:	Criterion A, Ethnic Heritage, Community Planning & Development, Local level of significance	
Alterations/Additions:	All windows replaced, Exterior wall materials replaced	
Integrity Notes:		
Effect:	None	

Resource No. 237 (48CB4899-EF2B-441C-8746-7F0E34A5FC7F.jpeg)

Resource No. 237 (FB3D827B-CB0D-4416-B671-D48A137B5BF9.jpeg)	

Survey Date:	12/28/2022	
Resource No:	**238A (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	4814 GARLAND AVE, 32.790199000000001/ -96.759737000000001458	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	Craftsman	
Construction Date:	1926 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Jubilee Park, Contributing	
Criteria, Notes:	Criterion A, Ethnic Heritage, Community Planning & Development, Local level of significance	
Alterations/Additions:	Exterior wall materials partially replaced	
Integrity Notes:		
Effect:	None	

Resource No. 238A (3FD99F73-1C12-4910-956F-AC755339199D.jpeg)

Resource No. 238A (84DE38DA-BE34-4244-B977-979EA54AD5E1.jpeg)	

Survey Date:	1/13/2023	
Resource No:	**238B (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	4814 GARLAND AVE, 32.790061999999999/ -96.75952599999999410	
Function/ Subfunction:	Residential	Garage
Form:	Rectangular	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1926	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Jubilee Park, Contributing	
Criteria, Notes:	Criterion A, Ethnic Heritage, Community Planning & Development, Local level of significance; Based on context given limited visibility	
Alterations/Additions:		
Integrity Notes:	Limited visibility	
Effect:	None	

Resource No. 238B (4814 Garland B.jpg)	

Survey Date:	12/28/2022	
Resource No:	**239 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	4819 LINDSLEY AVE, 32.789878000000002/ -96.759155000000007452	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1919 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Lacks integrity	
NR District, Status:	Jubilee Park, Noncontributing	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	All windows replaced, Exterior wall materials replaced, Porch enclosed, Doors replaced	
Integrity Notes:		
Effect:	None	

Resource No. 239 (2C5284A0-E4D7-4605-B6ED-61C6764F7B2F.jpeg)

Resource No. 239 (D820C299-64DA-4C79-90F3-FD830C0F9097.jpeg)	

Survey Date:	12/28/2022	
Resource No:	**240 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	4821 LINDSLEY AVE, 32.789974999999998/ -96.759017451	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	Craftsman	
Construction Date:	1923 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Jubilee Park, Contributing	
Criteria, Notes:	Criterion A, Ethnic Heritage, Community Planning & Development, Local level of significance	
Alterations/Additions:	All windows replaced, Exterior wall materials replaced	Rear addition
Integrity Notes:		
Effect:	None	

Resource No. 240 (7701AAD4-1556-476D-9803-65F39913593E.jpeg)	

Resource No. 240 (6FCF9448-EF8E-4663-812F-6ABEAB54EA30.jpeg)	

Survey Date:	12/28/2022	
Resource No:	**241 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	4825 LINDSLEY AVE, 32.790081999999998/ -96.758897000000005450	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	Craftsman	
Construction Date:	1922 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Jubilee Park, Contributing	
Criteria, Notes:	Criterion A, Ethnic Heritage, Community Planning & Development, Local level of significance	
Alterations/Additions:	All windows replaced, Exterior wall materials replaced, Fenestration pattern altered	
Integrity Notes:		
Effect:	None	

Resource No. 241 (FB6E5ECE-1099-49E8-89FC-7CA8FF2989E2.jpeg)

Resource No. 241 (7CF3E20C-782D-41DF-BDFC-85DB9C10D064.jpeg)	

Survey Date:	12/28/2022	
Resource No:	**242A (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	4830 LINDSLEY AVE, 32.789842999999998/ -96.758387999999997446	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	Craftsman	
Construction Date:	1936 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Jubilee Park, Contributing	
Criteria, Notes:	Criterion A, Ethnic Heritage, Community Planning & Development, Local level of significance	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 242A (819AA7C6-76D5-4D5D-A65A-57EEBA374267.jpeg)

Resource No. 242A (5EB10E84-A385-4B2B-A00F-F19EFF39715C.jpeg)	

Survey Date:	1/13/2023	
Resource No:	**242B (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	4830 LINDSLEY AVE, 32.789762000000003/ -96.7582359999999979	
Function/ Subfunction:	Residential	Garage
Form:	Rectangular	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1936	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Jubilee Park, Contributing	
Criteria, Notes:	Criterion A, Ethnic Heritage, Community Planning & Development, Local level of significance; Based on context given limited visibility	
Alterations/Additions:		
Integrity Notes:	Limited visibility	
Effect:	None	

Resource No. 242B (4830 Lindsley B.jpg)	

Survey Date:	12/28/2022	
Resource No:	**243 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	4835 PARRY AVE, 32.789541/ -96.757846000000001444	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1930 (In field estimate)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Lacks integrity	
NR District, Status:	Jubilee Park, Noncontributing	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	All windows replaced, Exterior wall materials replaced, Porch altered	Additional story added
Integrity Notes:		
Effect:	None	

Resource No. 243 (EBD90D94-3782-4213-86F6-8AA1E2EDC12F.jpeg)

Resource No. 243 (5B4A97B8-779E-45C9-BC14-179129417AFE.jpeg)	

Survey Date:	12/28/2022	
Resource No:	**244A (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	4832 LINDSLEY AVE, 32.789923000000002/ -96.758279999999999447	
Function/ Subfunction:	Residential	Duplex house
Form:	Bungalow	
Stylistic Influence(s):	Craftsman	
Construction Date:	1936 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Jubilee Park, Contributing	
Criteria, Notes:	Criterion A, Ethnic Heritage, Community Planning & Development, Local level of significance	
Alterations/Additions:	Doors partially replaced	
Integrity Notes:		
Effect:	None	

Resource No. 244A (E186B400-BA73-4F5F-A606-6DAF757696F9.jpeg)

Resource No. 244A (8519C052-5285-4645-BAA2-07B440458DBA.jpeg)	

Survey Date:	12/28/2022	
Resource No:	**244B (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	4832 LINDSLEY AVE, 32.789814/ -96.758094445	
Function/ Subfunction:	Residential	Garage apartment
Form:	Foursquare	
Stylistic Influence(s):	Craftsman	
Construction Date:	1936 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Jubilee Park, Contributing	
Criteria, Notes:	Criterion A, Ethnic Heritage, Community Planning & Development, Local level of significance	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 244B (1249C533-77A5-4984-AD4D-9BFEC8B5BE85.jpeg)	

Survey Date:	12/28/2022	
Resource No:	**245A (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	4839 PARRY AVE, 32.789670999999998/ -96.757717999999997443	
Function/ Subfunction:	Residential	Single-family house
Form:	Foursquare	
Stylistic Influence(s):	National Folk	
Construction Date:	1936 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Individually eligible for NRHP, Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Jubilee Park, Contributing	
Criteria, Notes:	Criterion A, Ethnic Heritage, Community Planning & Development, Local level of significance	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 245A (D387B090-02C6-41BB-A824-ACFDC10DAAB0.jpeg)

Resource No. 245A (A025458F-D2C4-4E6B-9F26-F689E5919E15.jpeg)	

Survey Date:	1/13/2023	
Resource No:	**245B (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	4839 PARRY AVE, 32.789802000000002/ -96.7578620000000034	
Function/ Subfunction:	Residential	Garage
Form:	Rectangular	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1936	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Jubilee Park, Contributing	
Criteria, Notes:	Criterion A, Ethnic Heritage, Community Planning & Development, Local level of significance; Based on context given limited visibility	
Alterations/Additions:		
Integrity Notes:	Limited visibility	
Effect:	None	

Resource No. 245B (4839 Parry B.jpg)

Survey Date:	12/28/2022	
Resource No:	**246 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	4838 LINDSLEY AVE, 32.790036000000001/ -96.758195999999998448	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	Craftsman, Minimal Traditional	
Construction Date:	1931 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	I-30 East Corridor Project (HNTB, Sept. 2022, Resource #25b) (Not eligible)	
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Jubilee Park, Contributing	
Criteria, Notes:	Criterion A, Ethnic Heritage, Community Planning & Development, Local level of significance	
Alterations/Additions:	Porch altered	
Integrity Notes:	Alterations within period of significance	
Effect:	None	

Resource No. 246 (3C547428-BA6F-4D98-8FF1-187927AE1797.jpeg)

Resource No. 246 (99A7FB19-5219-4F2B-A13C-3DD86CF68FA6.jpeg)	

Survey Date:	01/25/2022
Resource No:	246 (HHM) [25b (HNTB)]
Project Location:	Dallas
Project Name and CSJ:	I-30 East Corridor Project; 0009-11-252
Address, Lat/Long:	4838 Lindsley Avenue; 32.789616, -96.757724
Function/Sub-function:	Residence
Construction Date:	1936
NRHP Eligibility:	See HHM 2023 survey form (contributing to Jubilee Park Historic District) (Not Eligible per HNTB)
Integrity/Comments:	Retains sufficient integrity for district threshold per Table G-2 in Appendix G (HHM). Per HNTB: Resource 246 is a historic-age house located just west of the intersection of Lindsley Avenue and South Fitzhugh Avenue, approximately 215 feet southwest of I-30 within Jubilee Park Historic District. It is individually assessed within this report because it has proposed ROW acquisition. Resource 246 is a single-story bungalow with elements of the craftsman style. It has a hipped roof with a gabled attic vent and a small projecting front gable that shelters a small, integral entry porch. The entry porch features two separate front doors and two separate single windows. The doors were not visible during survey, but the screen doors covering them are historic-age. The two porch supports are cast iron in a floral motif, and though historic-age, are not original to the house. Windows throughout the house are a mix of historic-age wood-framed units and non-historic vinyl replacement units. There is a single window on the main body of the façade that appears to maintain its original wood, craftsman style muntin pattern, but the glazing has been replaced with plexiglass or clear plastic. The exterior of Resource 246 is clad in original wood clapboard. There do not appear to have been any additions made to the resource. Resource 246 sits on a grassy lot with minimal landscaping. There is a historic-age concrete driveway and a historic-age concrete walkway that runs parallel to the façade. Resource 246 is typical of the historic-age housing within Resource 246 and Jubilee Park and represents one of the more commonly observed building forms. Resource 246 retains integrity in the aspects of location and association because it has not been moved and because it is recognizable as a historic-age bungalow with craftsman elements. Resource 246 does not retain integrity in the aspects of setting, materials, design, workmanship, or feeling. The construction of I-30 fundamentally altered the historic setting of the resource. Large swaths of the once-vibrant historic community were demolished, historic vehicular and pedestrian pathways were closed, and the viewshed is dominated by the interstate, which is directly across the street from Resource 246, completely negating integrity of setting. Though Resource 246 maintains its historic form and some craftsman elements, all the windows have been replaced, and the porch supports are out-of-character historic-age replacements. These changes have all compromised integrity of materials, design, workmanship, and feeling. Therefore, Resource 246 is recommended not eligible under Criterion C. Research did not reveal an association between Resource 246 and any events or people that contributed significantly to history in Dallas. Therefore, the property is recommended not eligible under Criterion A or B. Although it retains some aspects of integrity, changes to historic-age materials inhibit its abilityto convey significance of a particular era. Due to

HNTB Draft - Not for Distribution 2022

	compromised integrity and a lack of significance, Resource 246 does not contribute to the eligibility of Jubilee Park Historic District or of the larger Jubilee Park.

Resource 246 (HHM) [25b (HNTB)]: view of façade (northwest elevation) showing plastic replacement glazing and replacement porch supports

HNTB Draft

Resource 246 (HHM) [25b (HNTB)]: façade oblique, facing south

HNTB Draft

Survey Date:	12/28/2022	
Resource No:	**247A (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	4843 PARRY AVE, 32.789757000000002/ -96.757624000000007442	
Function/ Subfunction:	Residential	Single-family house
Form:	Foursquare	
Stylistic Influence(s):	National Folk	
Construction Date:	1936 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Individually eligible for NRHP, Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Jubilee Park, Contributing	
Criteria, Notes:	Criterion A, Ethnic Heritage, Community Planning & Development, Local level of significance	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 247A (02611673-B30E-406E-8018-4499595C9F8E.jpeg)

Resource No. 247A (0763CC5D-CB02-497F-9FED-D0A082FE0433.jpeg)	

Survey Date:	1/01/2023	
Resource No:	**247B (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	4843 PARRY AVE, 32.789879999999997/ -96.757811000000004198	
Function/ Subfunction:	Residential	Back house
Form:	Bungalow	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1936 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Jubilee Park, Contributing	
Criteria, Notes:	Criterion A, Ethnic Heritage, Community Planning & Development, Local level of significance	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 247B (444EEADE-DE4A-46CB-BA3F-6FF5D39D1E4D.jpeg)

Resource No. 247B (ED0936D2-C28A-41FF-AF2E-32A0EC0873A1.jpeg)	

Survey Date:	12/28/2022	
Resource No:	**248 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	4842 LINDSLEY AVE, 32.790123999999999/ -96.758065999999999449	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	Craftsman	
Construction Date:	1931 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	I-30 East Corridor Project (HNTB, Sept. 2022, Resource #25a) (Not eligible)	
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Jubilee Park, Contributing	
Criteria, Notes:	Criterion A, Ethnic Heritage, Community Planning & Development, Local level of significance	
Alterations/Additions:	Windows boarded	
Integrity Notes:		
Effect:	None	

Resource No. 248 (757646B9-BE0F-4191-82A0-94B477F5CE51.jpeg)

Resource No. 248 (63F9592C-307C-4950-B798-EE404245EBF0.jpeg)	

Survey Date:	01/25/2022
Resource No:	248 (HHM) [25a (HNTB)]
Project Location:	Dallas
Project Name and CSJ:	I-30 East Corridor Project; 0009-11-252
Address, Lat/Long:	4842 Lindsley Avenue; 32.790083, -96.758063
Function/Sub-function:	Residence
Construction Date:	1931
NRHP Eligibility:	See HHM 2023 survey form (contributing to Jubilee Park Historic District) (Not Eligible per HNTB)
Integrity/Comments:	Retains sufficient integrity for district threshold per Table G-2 in Appendix G (HHM). Per HNTB: Resource 248 is a historic-age house located at the intersection of Lindsley Avenue and South Fitzhugh Avenue, approximately 175 feet south of I-30, within Jubilee Park Historic District. It is individually assessed within this report because it has proposed ROW acquisition. Resource 248 is a single-story, side-gabled residence with a hipped roof rear projection and elements of the craftsman style. Historic aerials do not go back far enough to determine whether the rear projection is original to the resource, but they do show that it is of historic age. The roof of Resource 248 is clad in asphalt shingles and has exposed rafter tails. An eyebrow arch extends over the west corner of the façade and shelters a small entry porch. The porch is supported by square wood posts that do not appear to be of historic age. The exterior is clad predominantly in wood clapboard that appears to be original, though the gable ends are clad in non-historic cement board siding. Sections of the rear elevation are clad in non-historic T1-11 siding and plywood. The exposed pier foundation has been enclosed with plywood. Windows throughout are non-historic vinyl replacements. The front door was not visible during survey. A door on the rear elevation has been covered with plywood. Its historic presence is indicated by a small, historic-age, poured concrete landing with steps. Resource 248 sits on a grassy corner lot with several landscape trees and two historic-age concrete walkways. The property is defined by a non-historic chain-link fence that was being installed at the time of survey. Resource 248 is typical of the historic-age housing within Jubilee Park Historic District and Jubilee Park. Resource 248 retains integrity in the aspects of location and association because it has not been moved and because it is recognizable as a historic-age home with craftsman elements. Resource 248 does not retain integrity in the aspects of setting, materials, design, workmanship, or feeling. The construction of I-30 fundamentally altered the historic setting of the resource. Large swaths of the once-vibrant historic-age community were demolished, historic vehicular and pedestrian pathways were closed, and the viewshed is dominated by the interstate, which is directly across the street from Resource 248, completely negating integrity of setting. Though Resource 248 maintains its historic form and some craftsman elements, all the windows have been replaced, the cladding is a mix of original clapboard and non-historic board and plywood, and the porch supports are non-historic treated lumber. These changes have all compromised integrity of materials, design, workmanship, and feeling. Therefore, Resource 248 is recommended not eligible under Criterion C. Research did not reveal an association between Resource 248 and any events or people that have made significant contributions to history in Dallas. Therefore, the property is recommended not eligible under Criterion A or B. Although it retains some aspects of

HNTB Draft Version September 2022

	integrity, changes to historic-age materials inhibit its ability to convey significance of a particular era. Due to compromised integrity and a lack of significance, Resource 248 does not contribute to the eligibility of Jubilee Park Historic District or of the larger Jubilee Park.

Resource 248 (HHM) [25a (HNTB)]: view of façade (northwest elevation)

HNTB DRAFT

Resource 248 (HHM) [25a (HNTB)]: façade oblique facing south

HNTB Draft

Resource 248 (HHM) [25a (HNTB)]: rear oblique showing non-historic cladding and enclosed door opening, facing west

HNTB Draft

Survey Date:	12/29/2022	
Resource No:	**249 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	4901 PARRY AVE, 32.789935999999997/ -96.757363999999995408	
Function/ Subfunction:	Residential	Duplex house
Form:	Bungalow	
Stylistic Influence(s):	Craftsman	
Construction Date:	1926 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Jubilee Park, Contributing	
Criteria, Notes:	Criterion A, Ethnic Heritage, Community Planning & Development, Local level of significance	
Alterations/Additions:	All windows replaced, Exterior wall materials replaced	
Integrity Notes:	Alterations likely within period of significance	
Effect:	None	

Resource No. 249 (B476F3C4-9370-4886-A285-EC4551B5A6A3.jpeg)	

Resource No. 249 (6D289ADA-DDF2-47EE-8878-A2640C9A8F5A.jpeg)	

Survey Date:	12/29/2022	
Resource No:	**250 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	4906 PARRY AVE, 32.789732000000001/ -96.756879999999995400	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	Craftsman	
Construction Date:	1916 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Jubilee Park, Contributing	
Criteria, Notes:	Criterion A, Ethnic Heritage, Community Planning & Development, Local level of significance	
Alterations/Additions:	All windows replaced, Exterior wall materials replaced	
Integrity Notes:		
Effect:	None	

Resource No. 250 (819C4240-B7C1-419C-ACE7-02FBA6C0A190.jpeg)	

Resource No. 250 (B87EC280-C442-4DD0-997C-B986D6BD7FF9.jpeg)	

Survey Date:	12/29/2022	
Resource No:	**251 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	4907 PARRY AVE, 32.790025999999997/ -96.757273999999995407	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1980 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Constructed after end of POS	
NR District, Status:	Jubilee Park, Noncontributing	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	All windows replaced, Porch expanded	
Integrity Notes:		
Effect:	None	

Resource No. 251 (E5BDB16B-9753-4CAA-B77E-FFF7112D1F18.jpeg)

Resource No. 251 (207C58C4-6756-4203-AEAA-55AD30E3C250.jpeg)	

Survey Date:	12/29/2022	
Resource No:	**252 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	4911 PARRY AVE, 32.790142000000003/ -96.757126406	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	Craftsman	
Construction Date:	1921 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Lacks integrity	
NR District, Status:	Jubilee Park, Noncontributing	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	All windows replaced, Exterior wall materials replaced, Porch enclosed, Doors replaced	
Integrity Notes:		
Effect:	None	

Resource No. 252 (5D556345-77A3-436E-B423-2E6B0FA35D98.jpeg)	

Resource No. 252 (89B74322-A361-4544-BADB-2D04BD8A507C.jpeg)	

Survey Date:	12/29/2022	
Resource No:	**253 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	4915 PARRY AVE, 32.790222/ -96.757002405	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	Craftsman	
Construction Date:	1921 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Jubilee Park, Contributing	
Criteria, Notes:	Criterion A, Ethnic Heritage, Community Planning & Development, Local level of significance	
Alterations/Additions:	Screens replaced, Doors replaced	
Integrity Notes:		
Effect:	None	

Resource No. 253 (2B5A3756-D1E3-4BEE-B863-B933BBC030AE.jpeg)

Resource No. 253 (C9AEA8A5-49CC-4EEF-848C-81AE5B1D2B81.jpeg)	

Survey Date:	12/29/2022	
Resource No:	**254 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	4922 PARRY AVE, 32.790076999999997/ -96.756404000000003401	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1936 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Jubilee Park, Contributing	
Criteria, Notes:	Criterion A, Ethnic Heritage, Community Planning & Development, Local level of significance	
Alterations/Additions:	All windows replaced, Exterior wall materials replaced	
Integrity Notes:		
Effect:	None	

Resource No. 254 (1E4AA570-6B2A-4DDC-90BB-17B1B28FA88B.jpeg)

Resource No. 254 (70E21201-A92C-4C2C-A364-7933CF6F754E.jpeg)	

Survey Date:	12/29/2022	
Resource No:	**255 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	4926 PARRY AVE, 32.790194/ -96.756297000000004402	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	Craftsman	
Construction Date:	1926 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Jubilee Park, Contributing	
Criteria, Notes:	Criterion A, Ethnic Heritage, Community Planning & Development, Local level of significance	
Alterations/Additions:	All windows replaced	
Integrity Notes:		
Effect:	None	

Resource No. 255 (AC39CC4E-86A9-4D86-8307-B0EA205AA640.jpeg)

Resource No. 255 (075B675C-7EE2-4D51-9AC2-565E8929CB69.jpeg)	

Survey Date:	12/29/2023	
Resource No:	**256 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	4930 GURLEY AVE, 32.789577000000001/ -96.755354999999994397	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1926 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Jubilee Park, Contributing	
Criteria, Notes:	Criterion A, Ethnic Heritage, Community Planning & Development, Local level of significance	
Alterations/Additions:	All windows replaced, Doors replaced	Side carport addition
Integrity Notes:		
Effect:	None	

Resource No. 256 (DE39CED8-5148-445C-A36E-FC1017D63400.jpeg)

Resource No. 256 (598C4BB5-94B3-48C7-8619-85971D9BA092.jpeg)	

Survey Date:	12/29/2023	
Resource No:	**257 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	4931 GURLEY AVE, 32.789866000000004/ -96.755724999999998399	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1926 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Jubilee Park, Contributing	
Criteria, Notes:	Criterion A, Ethnic Heritage, Community Planning & Development, Local level of significance	
Alterations/Additions:	All windows replaced, Exterior wall materials replaced	
Integrity Notes:	Alterations partially within period of significance	
Effect:	None	

Resource No. 257 (D180D3B7-EB4D-4C0D-919B-F621CA04C743.jpeg)	

Resource No. 257 (B8C93B8D-6C35-4BA3-A6F6-FA623AB81402.jpeg)	

Survey Date:	12/29/2023	
Resource No:	**258 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	4930 PARRY AVE, 32.790289000000001/ -96.756203999999997403	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	Craftsman, Minimal Traditional	
Construction Date:	1931 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Jubilee Park, Contributing	
Criteria, Notes:	Criterion A, Ethnic Heritage, Community Planning & Development, Local level of significance	
Alterations/Additions:	Exterior wall materials replaced	
Integrity Notes:		
Effect:	None	

Resource No. 258 (563695F8-9E2B-4081-91AB-61772A9025FB.jpeg)

Resource No. 258 (3B93307F-135F-48B9-B24C-4F93F777215C.jpeg)	

Survey Date:	12/29/2023	
Resource No:	**259 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	4935 GURLEY AVE, 32.789982000000002/ -96.755600999999999398	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	Craftsman	
Construction Date:	1916 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Jubilee Park, Contributing	
Criteria, Notes:	Criterion A, Ethnic Heritage, Community Planning & Development, Local level of significance	
Alterations/Additions:	All windows replaced, Doors replaced	
Integrity Notes:		
Effect:	None	

Resource No. 259 (72F53A5B-40CE-41F0-897F-4A5E5C398740.jpeg)	

Resource No. 259 (920AD2E0-983E-4953-8225-4617573B55D8.jpeg)	

Survey Date:	12/29/2023	
Resource No:	**260 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	4934 PARRY AVE, 32.790322000000003/ -96.756001999999995404	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	Craftsman, Minimal Traditional	
Construction Date:	1921 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Jubilee Park, Contributing	
Criteria, Notes:	Criterion A, Ethnic Heritage, Community Planning & Development, Local level of significance	
Alterations/Additions:	Exterior wall materials replaced	
Integrity Notes:		
Effect:	None	

Resource No. 260 (4CDB88E5-14E1-4DD9-812D-EA2113691618.jpeg)

Resource No. 260 (942BE297-DB7D-458C-9F70-8AB9212C204D.jpeg)	

Survey Date:	12/29/2023	
Resource No:	**261 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	5006 GURLEY AVE, 32.790140999999998/ -96.754690999999994396	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	Craftsman	
Construction Date:	1921 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Jubilee Park, Contributing	
Criteria, Notes:	Criterion A, Ethnic Heritage, Community Planning & Development, Local level of significance	
Alterations/Additions:	All windows replaced, Exterior wall materials replaced	
Integrity Notes:		
Effect:	None	

Resource No. 261 (8F9E5C90-9F38-4A30-8D18-8CDD2AC1C832.jpeg)

Resource No. 261 (684C73DC-B7DA-4070-8224-3FE6981C95B6.jpeg)	

Survey Date:	12/29/2023	
Resource No:	**262A (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	5010 GURLEY AVE, 32.790241999999999/ -96.754562000000007395	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	Craftsman	
Construction Date:	1921 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Jubilee Park, Contributing	
Criteria, Notes:	Criterion A, Ethnic Heritage, Community Planning & Development, Local level of significance	
Alterations/Additions:	All windows replaced, Exterior wall materials replaced	
Integrity Notes:		
Effect:	None	

Resource No. 262A (A404879C-3A26-45EF-98A3-B3A21A3AA321.jpeg)

Resource No. 262A (4C44B92B-57AA-44DA-B7B4-D010719249DF.jpeg)	

Survey Date:	1/13/2023	
Resource No:	**262B (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	5010 GURLEY AVE, 32.790115999999998/ -96.7543569999999997	
Function/ Subfunction:	Residential	Garage
Form:	Rectangular	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1921	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Jubilee Park, Contributing	
Criteria, Notes:	Criterion A, Ethnic Heritage, Community Planning & Development, Local level of significance	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 262B (4C44B92B-57AA-44DA-B7B4-D010719249DF.jpeg)

Survey Date:	12/29/2023	
Resource No:	**263A (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	5014 GURLEY AVE, 32.790312/ -96.754416000000006394	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1921 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Jubilee Park, Contributing	
Criteria, Notes:	Criterion A, Ethnic Heritage, Community Planning & Development, Local level of significance	
Alterations/Additions:	All windows replaced, Exterior wall materials replaced	
Integrity Notes:		
Effect:	None	

Resource No. 263A (7B47DDB1-8379-476A-A109-E904D62FD6B5.jpeg)

Resource No. 263A (5F6667C4-DCB5-4017-B814-DCACA94A7305.jpeg)	

Survey Date:	12/29/2023	
Resource No:	**263B (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	5014 GURLEY AVE, 32.790292999999998/ -96.754191000000006392	
Function/ Subfunction:	Residential	Garage
Form:	Rectangular	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1980 (In field estimate)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	Jubilee Park, Noncontributing	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 263B (A786F2C3-F040-4DAB-8D93-AA368FF82D50.jpeg)

Survey Date:	12/29/2023	
Resource No:	**264 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	5019 PHILIP AVE, 32.790059999999997/ -96.753895388	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	Craftsman	
Construction Date:	1926 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Jubilee Park, Contributing	
Criteria, Notes:	Criterion A, Ethnic Heritage, Community Planning & Development, Local level of significance	
Alterations/Additions:	Doors replaced	
Integrity Notes:		
Effect:	None	

Resource No. 264 (755EF66D-ECBC-4E35-964E-09D373256450.jpeg)

Resource No. 264 (6FB9C24C-0DCA-4E47-B6DB-443A0CCCFC8C.jpeg)	

Survey Date:	12/29/2023	
Resource No:	**265 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	5102 E R. L. THORNTON FWY, 32.790522000000003/ -96.753988000000007393	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1927 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks integrity	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	All windows replaced, Exterior wall materials replaced, Fenestration pattern altered, Porch altered	
Integrity Notes:		
Effect:	None	

Resource No. 265 (8AF3088F-6E69-4886-9AFC-1C1494118F10.jpeg)

Survey Date:	12/29/2023	
Resource No:	**266 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	5107 PHILIP AVE, 32.790306999999999/ -96.753536999999994389	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	Craftsman	
Construction Date:	1921 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Jubilee Park, Contributing	
Criteria, Notes:	Criterion A, Ethnic Heritage, Community Planning & Development, Local level of significance	
Alterations/Additions:	All windows replaced, Exterior wall materials replaced, Doors replaced	
Integrity Notes:	Alterations partially within period of significance	
Effect:	None	

Resource No. 266 (2626427C-516D-4972-829E-F5D2D9DEF3AF.jpeg)	

Resource No. 266 (0E0693BA-A2AD-429C-A848-2A0066FD574A.jpeg)	

Survey Date:	12/29/2023	
Resource No:	**267A (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	5111 PHILIP AVE, 32.790424999999999/ -96.753398000000004390	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	Craftsman	
Construction Date:	1922 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Jubilee Park, Contributing	
Criteria, Notes:	Criterion A, Ethnic Heritage, Community Planning & Development, Local level of significance	
Alterations/Additions:	All windows replaced	
Integrity Notes:		
Effect:	None	

Resource No. 267A (560D87CD-1F41-41B7-8CA9-4E8598F7FE87.jpeg)

Resource No. 267A (1E0A5D15-292E-43C2-905A-02F2D73990B6.jpeg)	

Survey Date:	1/13/2023	
Resource No:	**267B (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	5111 PHILIP AVE, 32.790616/ -96.7535649999999956	
Function/ Subfunction:	Residential	Garage
Form:	Rectangular	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1922	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Jubilee Park, Contributing	
Criteria, Notes:	Criterion A, Ethnic Heritage, Community Planning & Development, Local level of significance; Based on context given limited visibility	
Alterations/Additions:		
Integrity Notes:	Limited visibility	
Effect:	None	

Resource No. 267B (5111 Philip B.jpg)

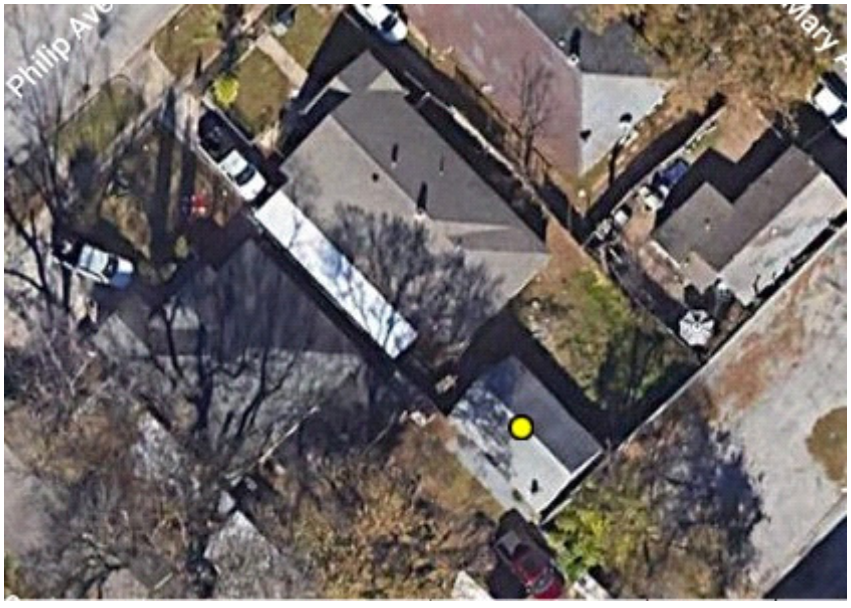
Survey Date:	12/29/2023	
Resource No:	**268A (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	5114 PHILIP AVE, 32.790191/ -96.752898000000002387	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	Craftsman	
Construction Date:	1936 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks integrity	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	All windows replaced, Exterior wall materials replaced	Side carport addition
Integrity Notes:		
Effect:	None	

Resource No. 268A (D9ED6172-7010-4345-ABFD-F12FEDA1BDA7.jpeg)

Resource No. 268A (BC8AE914-229E-443F-99B5-57B1C36D16E9.jpeg)	

Survey Date:	1/13/2023	
Resource No:	**268B (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	5114 PHILIP AVE, 32.790058000000002/ -96.75282400000000423	
Function/ Subfunction:	Residential	Garage
Form:	Rectangular	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1936 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Visibility limited	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	Associated house lacks integrity	
Integrity Notes:	Visibility limited	
Effect:	None	

Resource No. 268B (5114 Philip B.jpg)



Survey Date:	12/29/2023	
Resource No:	**269 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	5115 PHILIP AVE, 32.790508000000003/ -96.753271999999996391	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1921 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	I-30 East Corridor Project (HNTB, Sept. 2022, Resource #25c) (Not eligible)	
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Jubilee Park, Contributing	
Criteria, Notes:	Criterion A, Ethnic Heritage, Community Planning & Development, Local level of significance	
Alterations/Additions:	All windows replaced, Porch screened	
Integrity Notes:		
Effect:	No adverse effect (de minimis ROW acquisition)	

Resource No. 269 (9017803F-9E70-42E6-856F-C4933963D3DC.jpeg)

Resource No. 269 (9E654C0D-F146-45F4-BA9E-E0DF50998E24.jpeg)	

Survey Date:	01/25/2022
Resource No:	269 (HHM) [25c (HNTB)]
Project Location:	Dallas
Project Name and CSJ:	I-30 East Corridor Project; 0009-11-252
Address, Lat/Long:	5115 Phillip Avenue; 32.790450, -96.753276
Function/Sub-function:	Residence
Construction Date:	1921
NRHP Eligibility:	Not Eligible
Integrity/Comments:	Resource 269 is a historic-age house located just west of the intersection of Philip Avenue and South St. Mary Avenue, approximately 85 feet south of I-30 within Jubilee Park Historic District. It is individually assessed within this report because it has proposed ROW acquisition. Resource 269 is a front-gable bungalow with nesting gables, the smaller of which shelters a front entry porch. Aggressive dogs and privacy fencing limited visibility of the resource. Resource 269 is clad in what appears to be original wood clapboard. The front porch has been non-historically enclosed with cement board and fiberglass screens. The front door and any windows within the porch were not visible. One brick porch support base is visible on the northeast elevation, partially encased by the non-historic porch cladding. It can be assumed that the porch originally featured battered wood supports atop brick bases. Knee braces are also present, though they are partially encased in eave soffits. This suggests that Resource 269 originally had exposed eaves and rafter tails that have been boxed in. A dark screen and a window air conditioning unit blocked any view of the one façade window, so its age and materials are unknown. Windows visible on the northeast elevation are non-historic vinyl replacements. The only non-historic addition visible during survey is a metal framed canopy on the rear elevation that appears to serve as a carport. Aerial photography shows a second building or structure at the rear of the parcel, but it was not visible during survey and cannot be evaluated. Historic aerial photography shows that it is not of historic age. Resource 269 sits on a grassy lot with a historic-age concrete driveway. The house is accessed by a historic-age concrete walkway with steps. The side and rear of the property are defined by metal privacy fencing. Resource 269 is typical of the historic-age housing within Resource 269 and Jubilee Park and represents one of the more commonly observed building forms. Resource 269 retains integrity in the aspect of location only, because it has not been moved. Resource 269 does not retain integrity in the aspects of setting, materials, design, workmanship, or feeling. The construction of I-30 fundamentally altered the historic setting of the resource. Large swaths of the once-vibrant historic community were demolished, historic vehicular and pedestrian pathways were closed, and the viewshed is dominated by the interstate, which is directly across the street from Resource 269, completely negating integrity of setting. Though Resource 269 maintains its historic-age form and evidence of original craftsman elements, all visible windows have been replaced; the front porch has been non-historically enclosed as a screen porch; and character-defining craftsman elements like knee braces, brick porch supports, and exposed rafter tails have been encased in non-historic materials. These changes have all compromised integrity of

HNTB Draft HRSR September 2022

	materials, design, workmanship, feeling and association. Therefore, Resource 269 is recommended not eligible under Criterion C. Research did not reveal an association between Resource 269 and any events or people that have made significant contributions to history in Dallas. Therefore, the property is recommended not eligible under Criterion A or B. Although it retains some aspects of integrity, changes to historic-age materials inhibit its abilityto convey significance of a particular era. Due to compromised integrity and a lack of significance, Resource 269 does not contribute to the eligibility of Jubilee Park Historic District or of the larger Jubilee Park.

Resource 269 (HHM) [25c (HNTB)]: view of non-historically enclosed front porch and partially boxed eaves, facing north

Resource 269 (HHM) [25c (HNTB)]: view of façade (southeast elevation) showing non-historic porch enclosure

HNTB Draft

Resource 269 (HHM) [25c (HNTB)]: façade oblique, facing west

HNTB Draft

Survey Date:	12/29/2023	
Resource No:	**270A (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	5118 PHILIP AVE, 32.790300000000002/ -96.752804999999995386	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1926 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Alterations partially within period of significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	Porch partially enclosed, All windows replaced, Exterior wall materials replaced	
Integrity Notes:	Alterations partially within period of significance	
Effect:	None	

Resource No. 270A (57D5712E-F248-4288-A9E0-5BDC1815E4A1.jpeg)	

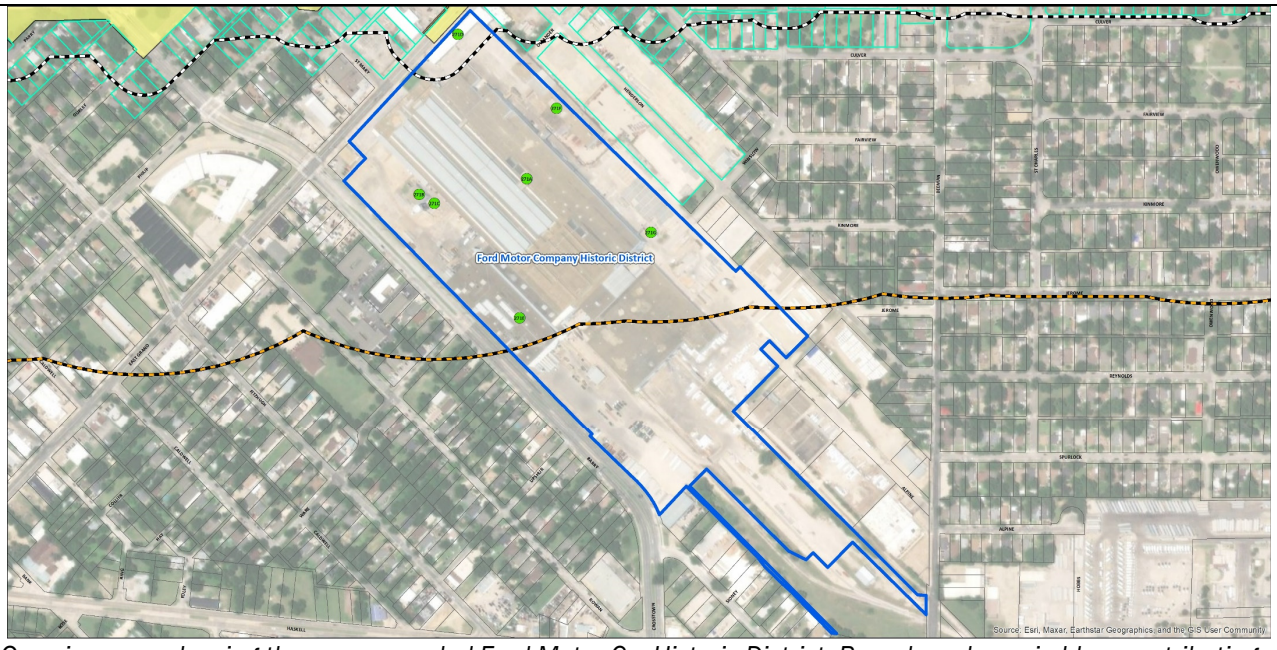
Resource No. 270A (1147086D-510E-4D12-B091-B5153FE6FC30.jpeg)	

Survey Date:	12/29/2023	
Resource No:	**270B (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	5118 PHILIP AVE, 32.790194999999997/ -96.752644000000004385	
Function/ Subfunction:	Residential	Back house
Form:	Rectangular	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1926 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks integrity	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	All windows replaced, Exterior wall materials replaced, Doors replaced	
Integrity Notes:		
Effect:	None	

Resource No. 270B (7D369BE5-3CD8-4789-A5C0-EEC080D79736.jpeg)

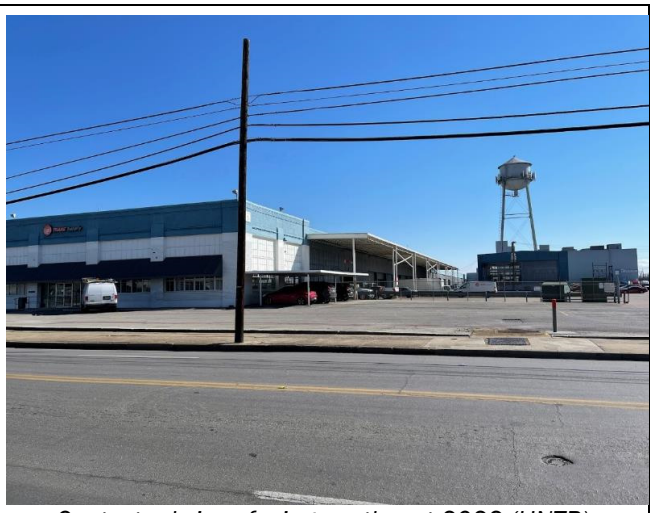
Resource No. 270B (300BFDD5-A4A7-4EF1-BA92-30150536C806.jpeg)	

Survey Date:	1/1/2023 (HHM)
District Name:	**FORD MOTOR CO. HISTORIC DISTRICT (HHM)**
Resource Nos.:	**271A-G**
Project Location:	Dallas County, Dallas District
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251
Rough Boundaries:	E. Grand Avenue on the northwest, Barry Avenue on the southwest, an irregular line partially defined by a rail spur on the southeast, and the alley paralleling S. Henderson Avenue on the northeast
Functions/ Subfunctions:	Industrial
Forms:	
Stylistic Influence(s):	Midcentury Modern, None
Construction Dates:	1925-1965 (Appraisal district)
NRHP Eligibility:	Eligible as a district
NR District, Status:	Ford Motor Co.,
Criteria, Notes:	Criterion A, Industry, Local level of significance; Period of significance 1925-1979
Alterations/ Additions:	
Integrity Notes:	
Effect:	None



Overview map showing the recommended Ford Motor Co. Historic District. Boundary shown in blue, contributing resources in green. See Appendix D for a larger-scale map and legend.

1958 aerial photograph (www.historicaerials.com).



Contextual view, facing southeast 2022 (HNTB)

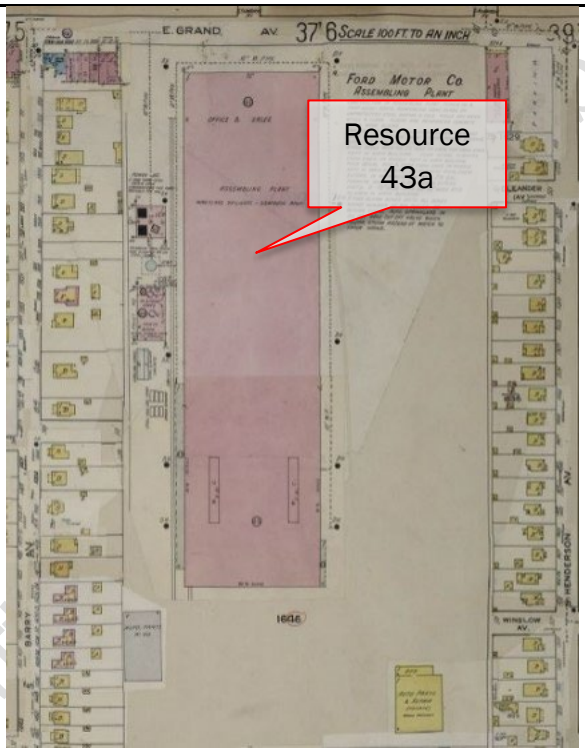
Survey Date:	1/25/2022 (HNTB)	
Resource No:	**271A (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	5200 EAST GRAND AVE, 32.788635999999997/ -96.749919000000006440	
Function/ Subfunction:	Industrial	Auto manufacture
Form:	Rectangular	
Stylistic Influence(s):	Art Deco	
Construction Date:	1926 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	I-30 East Corridor Project (HNTB, Sept. 2022, Resource #43a) (Not eligible)	
NRHP Eligibility:	Individually eligible for NRHP, Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Ford Motor Co., Contributing	
Criteria, Notes:	Criterion A, Industry, Local level of significance	
Alterations/Additions:	Awning replaced, windows painted	Multiple additions
Integrity Notes:	Alterations compatible, additions partially within period of significance	
Effect:	None	

Resource No. 271A	***See photos on following pages.***

Survey Date:	01/25/2022
Resource No:	271A (HHM) [43a (HNTB)]
Project Location:	Dallas
Project Name and	I-30 East Corridor Project; 0009-11-252
Address, Lat/Long:	5200 East Grand Avenue; 32.788587, -96.750256
Function/Sub-	Warehouse/Light Industrial Complex
Construction Date:	1924
NRHP Eligibility:	See HHM 2023 survey form (individually eligible and contributing to Ford Motor Co. Historic District) (Not Eligible per HNTB)
Integrity/Comments:	See HHM narrative regarding Ford Motor Co. Historic District in report, as well as survey forms for Ford Motor Company Historic District; retains sufficient integrity for eligibility under Criterion A in the area of Industry when considering a period of significance extending through 1970 (HHM). Per HNTB: Resource 271 is a large, multi-building resource that originally operated as a Ford Motor Company manufacturing facility. Access to the entire parcel was not granted. No ROW is required from Resource 271, and the only portion within the APE is a historic-age, though not original, metal building of no academic type or style. Only buildings visible from the ROW along East Grand Avenue are evaluated in this report. The original Ford Motor Company plant building is Resource 271A, a large, two-story brick, concrete, and reinforced steel building that fronts East Grand Avenue. It features decorative brickwork in the parapet; however, all exterior walls have been painted, so the detail of the brickwork is indistinguishable. The façade features a mix of historic-age steel-framed windows that appear to be original, as well as non-historic metal and glass storefronts. All the second story windows and some of the ground floor windows have been entirely painted over. A non-historic metal awning extends the full length of the façade. A full-length addition was constructed on the north elevation between 1950 and 1952. The addition is far from the ROW and was difficult to evaluate. It appears to be constructed of brick with steel-framed windows that have not been painted over. A metal-clad addition on its north elevation may be non-historic. Resource 271A is outside the APE of this project. When the plant opened in 1924, Resource 271A and a few smaller buildings (possibly Resource 271B) were the only structures on the large parcel. In fact, as late as a 1950 Sanborn map, single-family frame houses still lined the east and west boundaries of Resource 271. Historic aerial photographs indicate that the plant expanded between 1950 and 1952 with the construction of an addition to the north elevation of 271A as well as a large building southeast of 271A. The plant was again expanded between 1958 and 1968 when residential housing was entirely removed and several more buildings were added to the site. Buildings have continued to be added and removed from the resource, but the core of the Ford Motor Co. plant remains intact. Resource 271A retains integrity in the aspect of location because it has not been moved. The construction of I-30, the loss of many historic-age homes that once surrounded it, the demolition of historic-age plant buildings, and the addition of non-historic buildings within the parcel have all compromised the resource's integrity of setting. Integrity of materials, design, and workmanship have been lost or obscured by the application of non-historic exterior materials, replacement windows and doors on the façade, non-historic parking canopies, and painting over windows. In spite of these material changes, Resource 271A

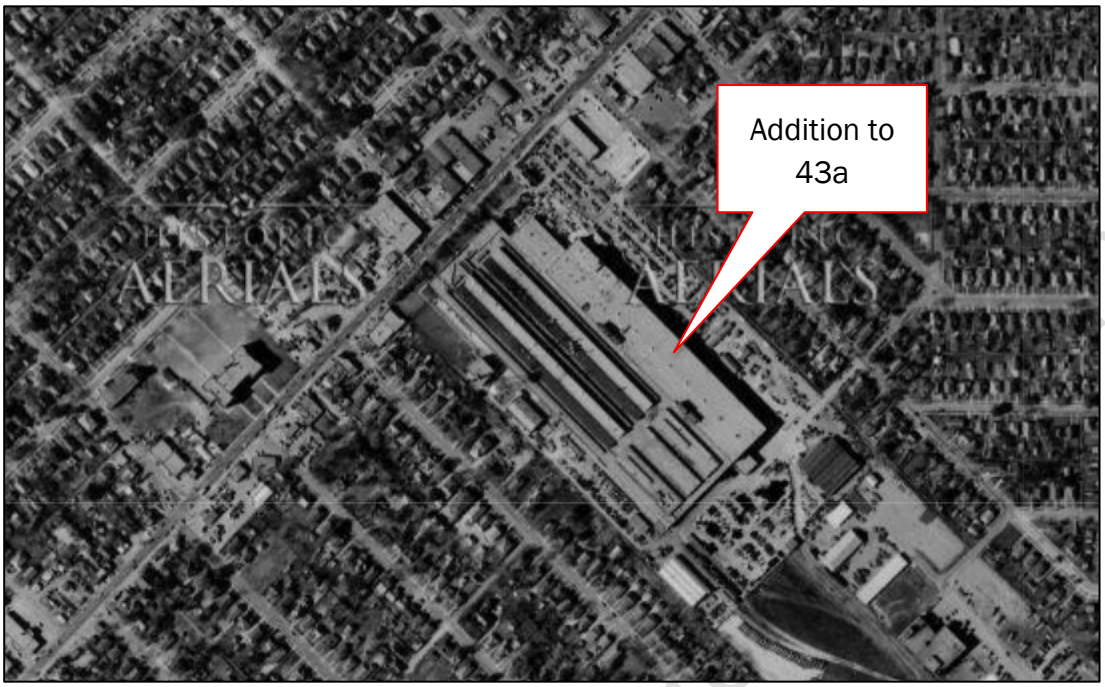
HNTB Draft Work September 2022

	retains integrity of feeling and association. Though there is nothing that indicates it was Ford Motor Company plant, Resource 271A is the original manufacturing building and is readily identifiable as a former industrial site. Due to the numerous non-historic material and design changes, Resource 271A is recommended not eligible under Criterion C. Resource 271A does not appear to have an association with individuals important to development of Dallas, Texas. Therefore, Resource 271A is not recommended eligible for the NRHP under Criterion B. Individually, Resource 271A does not convey the significance necessary to support eligibility under Criterion A. Resource 271 was an early influence on the development of early Old East Dallas in this area. However, its closure in 1970 has lasted longer than its 46 years in operation. Some of the buildings that made up the plant have since been removed, the plants plan is no longer intact, remaining buildings lack material integrity, and new buildings have been added. The Ford manufacturing impact in the area, although once a profound event in the immediate area, no longer has that connection to industry, economy, and development that it inspired. Resource 271 can no longer convey its significance for Criterion A.



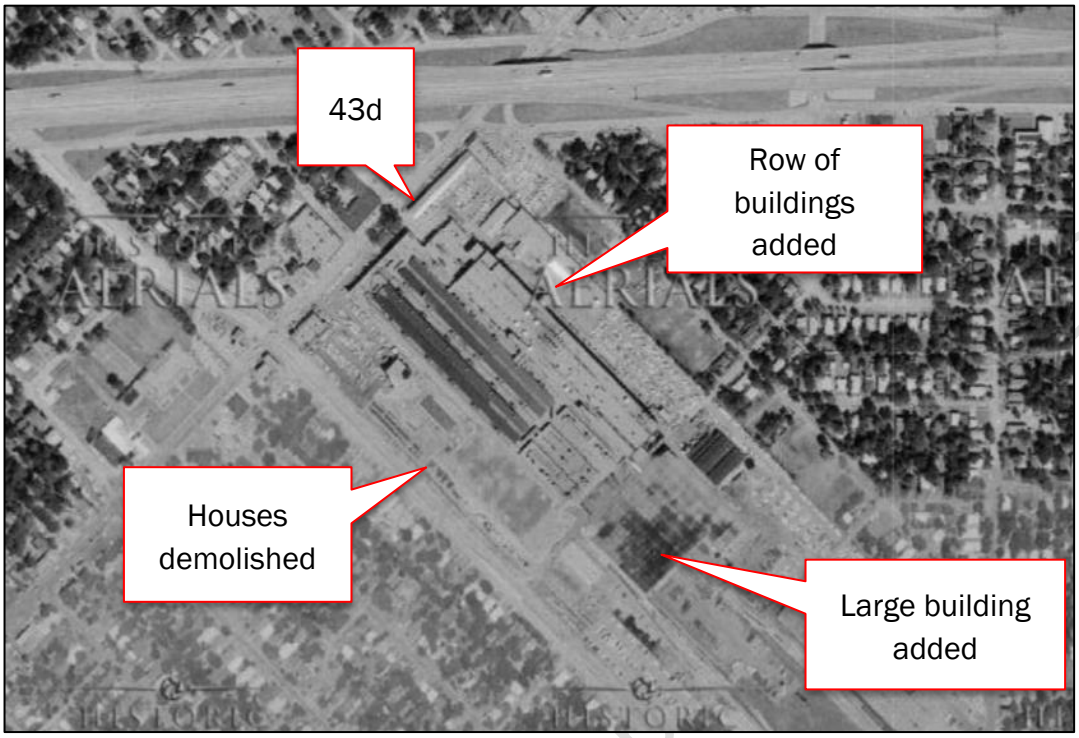
Resource 271A (HHM) [43a (HNTB)]: 1950 reissue of 1922 Sanborn Map vol. 3, sheet 399G showing Resource 43a
Source: Library of Congress

HNTB Draft September 2022



Resource 271A (HHM) [43a (HNTB)]: 1952 aerial photograph
Source: www.historicaerials.com

Resource 271A (HHM) [43a (HNTB)]: 1958 aerial photograph
Source: www.historicaerials.com



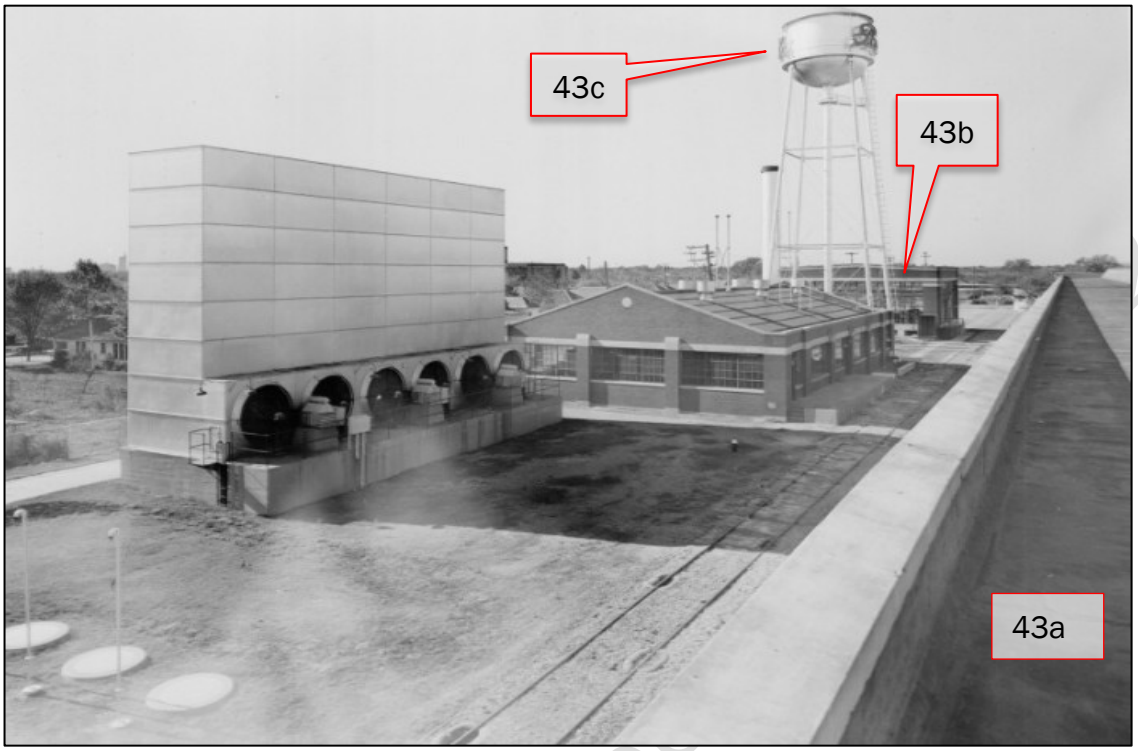
Resource 271A (HHM) [43a (HNTB)]: 1968 aerial photograph
Source: www.historicaerials.com

Resource 271A (HHM) [43a (HNTB)]: 1972 aerial photograph
Source: www.historicaerials.com

Resource 271A (HHM) [43a (HNTB)]: 1979 aerial photograph
Source: www.historicaerials.com

Resource 271A (HHM) [43a (HNTB)]: 1981 aerial photograph
Source: www.historicaerials.com

HNTB



Resource 271B & 271C (HHM) [43b & 43c (HNTB)]: 1936 photo of Resources 271B and 271C from rooftop of Resource 271A

Note that the two structures closest to the camera were demolished for the construction of Resource 271E.

Source: Ford Motor Company Archives, courtesy of kera.org

Resource 271A (HHM) [43a (HNTB)]: 2021 aerial photograph

Red line showing Resource 271; yellow line, 271A; green line, 271B; blue line, 271C; orange line, 271D; purple line, 271E

Source: Google Earth Pro

Resource 271A (HHM) [43a (HNTB)]: view of building showing non-historic awning and painted windows, facing east

HNTB 2022

Resource 271A (HHM) [43a (HNTB)]: view of non-historic canopies, as well as Resources 271B and 271C, facing southeast

Resource 271A (HHM) [43a (HNTB)]: view of 271A and the historic-age addition to its northeast elevation, facing east

HNTB Draft HRSR

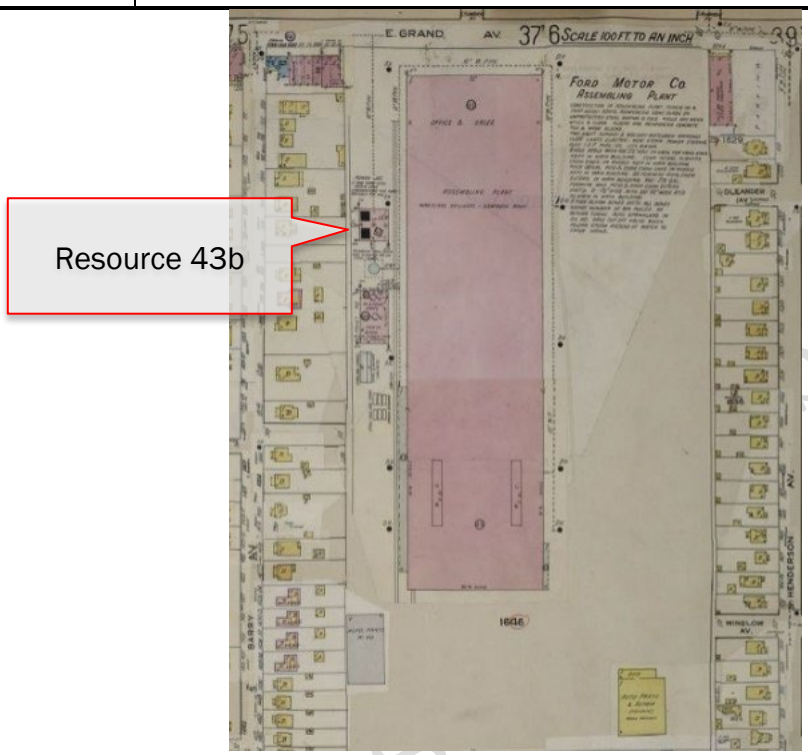
Survey Date:	1/25/2022 (HNTB)	
Resource No:	**271B (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	5200 EAST GRAND AVE, 32.788460000000001/ -96.751366000000004201	
Function/ Subfunction:	Industrial	Auto manufacture
Form:	Rectangular	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1926 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	I-30 East Corridor Project (HNTB, Sept. 2022, Resource #43b) (Not eligible)	
NRHP Eligibility:	Individually eligible for NRHP, Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Ford Motor Co., Contributing	
Criteria, Notes:	Criterion A, Industry, Local level of significance	
Alterations/Additions:	Windows painted	
Integrity Notes:		
Effect:	None	

Resource No. 271B	***See photos on following pages.***

Survey Date:	01/25/2022
Resource No:	271B (HHM) [43b (HNTB)]
Project Location:	Dallas
Project Name and	I-30 East Corridor Project; 0009-11-252
Address, Lat/Long:	5200 East Grand Avenue; 32.788587, -96.750256
Function/Sub-	Warehouse/Light Industrial Complex
Construction Date:	1924
NRHP Eligibility:	See HHM 2023 survey form (contributing to Ford Motor Co. Historic District) (Not Eligible per HNTB)
Integrity/Comments:	Retains sufficient integrity for district threshold per Table G-2 in Appendix G (HHM). Per HNTB: Resource 271 is a large, multi-building resource that originally operated as a Ford Motor Company manufacturing facility. Access to the entire parcel was not granted. No ROW is required from Resource 271, and the only portion within the APE is a historic-age, though not original, metal building of no academic type or style. Only buildings visible from the ROW along East Grand Avenue are evaluated in this report. Resource 271B dates to at least 1950 and may be original to the resource. 271B is a multi-story, brick building with walls that are almost entirely steel-framed windows. The windows appear opaque and may have been painted. Resource 271B is a great distance from any ROW and was difficult to evaluate. Resource 271B is also entirely shielded from the project area by Resource 271A. When the plant opened in 1924, Resource 271A and a few smaller buildings (possibly 271B were the only structures on the large parcel. In fact, as late as a 1950 Sanborn map, single-family frame houses still lined the east and west boundaries of Resource 271. Historic aerial photographs indicate that the plant expanded between 1950 and 1952 with the construction of an addition to the northeast and southeast elevations of 271A. The plant was again expanded between 1958 and 1968 when residential housing was entirely removed and several more buildings were added to the site. Buildings have continued to be added and removed from the resource, but the core of the Ford Motor Co. plant remains intact. Resource 271B retains integrity in the aspect of location only, because it has not been moved. The construction of I-30, the loss of many historic-age homes that once surrounded it, the demolition of historic-age plant buildings, and the addition of non-historic buildings within the parcel have all compromised the resource's integrity of setting. Integrity of materials, design, and workmanship are unknown because the building is too far from the ROW to evaluate. The only visible change to Resource 271B is the complete painting over of most of its historic metal-framed windows. Though the resource is recognizable as a former industrial building, there is nothing that indicates it was Ford Motor Company plant or that it produced vehicles at all. In spite of these material changes, Resource 271B retains integrity of feeling and association. Though there is nothing that indicates it was Ford Motor Company plant, Resource 271B is an original building and is readily identifiable as part of a former industrial site. There are no character-defining features of a type or style present on Resource 271B. Therefore, Resource 271B is recommended not eligible under Criterion C. Resource 271B does not appear to have an association with individuals important to development of Dallas, Texas. Therefore, Resource 271A is not recommended eligible for the NRHP under Criterion

HNTB Draft HRSR September 2022

	B. Individually, Resource 271B does not convey the significance necessary to support eligibility under Criterion A; however, Resource 271 was a major employer in the area, and though its buildings have been non-historically altered, it maintains significance as an integral part of the mid-20th century development of Old East Dallas. Therefore, Resource 271, as a whole, is recommended eligible under Criterion A with a local level of significance in the area of Industry.



Resource 271B (HHM) [43b (HNTB)]: 1950 reissue of 1922 Sanborn Map vol. 3, sheet 399G
Source: Library of Congress

HNTB Draft HRSR October 2022

Resource 271B (HHM) [43b (HNTB)]: view of Resources 271A, 271B, 271C, and 271E facing southeast

Resource 271B (HHM) [43b (HNTB)]: view of Resources 271B, 271C, and 271E, facing southeast

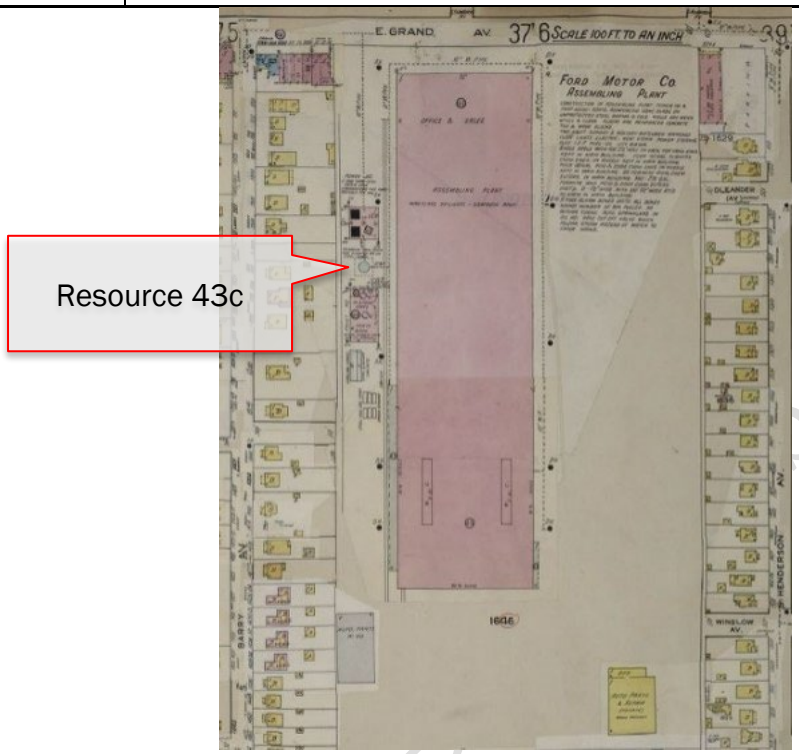
Survey Date:	1/25/2022 (HNTB)	
Resource No:	**271C (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	5200 EAST GRAND AVE, 32.788358000000002/ -96.751165203	
Function/ Subfunction:	Industrial	Water tower
Form:	Water tower	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1926 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	I-30 East Corridor Project (HNTB, Sept. 2022, Resource #43c) (Not eligible)	
NRHP Eligibility:	Individually eligible for NRHP, Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Ford Motor Co., Contributing	
Criteria, Notes:	Criterion A, Industry, Local level of significance	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 271C	***See photos on following pages.***

Survey Date:	01/25/2022
Resource No:	271C (HHM) [43c (HNTB)]
Project Location:	Dallas
Project Name and	I-30 East Corridor Project; 0009-11-252
Address, Lat/Long:	5200 East Grand Avenue; 32.788587, -96.750256
Function/Sub-	Warehouse/Light Industrial Complex
Construction Date:	1924
NRHP Eligibility:	See HHM 2023 survey form (contributing to Ford Motor Co. Historic District) (Not Eligible per HNTB)
Integrity/Comments:	Retains sufficient integrity for district threshold per Table G-2 in Appendix G (HHM). Per HNTB: Resource 271 is a large, multi-building resource that originally operated as a Ford Motor Company manufacturing facility. Access to the entire parcel was not granted. No ROW is required from Resource 271, and the only portion within the APE is a historic-age, though not original, metal building of no academic type or style. Only buildings visible from the ROW along East Grand Avenue are evaluated in this report. Resource 271C is a water tower west of Resource 271A and southeast of Resource 271B. Resource 271C dates to at least 1950 and may be original to the resource. According to a 1950 Sanborn map, the water tower is 105 feet tall, made of steel, and holds 100,000 gallons of water. The water tower is a great distance from the ROW, and the age of the tower could not be confirmed. Because it is visible in all available historic and non-historic aerial photography of the resource, it is assumed to be the original. When the plant opened in 1924, Resource 271A and a few smaller buildings (possibly 271B) were the only structures on the large parcel. In fact, as late as a 1950 Sanborn map, single-family frame houses still lined the east and west boundaries of Resource 271. Historic aerial photographs indicate that the plant expanded between 1950 and 1952 with the construction of an addition to the northeast and southeast elevations of Resource 271A. The plant was again expanded between 1958 and 1968 when residential housing was entirely removed and several more buildings were added to the site. Buildings have continued to be added and removed from the resource, but the core of the Ford Motor Co. plant remains intact. Resource 271C retains integrity in the aspect of location because it has not been moved. It also retains integrity in the aspects of feeling and association because it is recognizable as a water tower. The construction of I-30, the loss of many historic-age homes that once surrounded it, the demolition of historic-age plant buildings, and the addition of non-historic buildings within the parcel have all compromised the resource's integrity of setting. Integrity of materials, design, and workmanship are unknown because the resource is too far from the ROW to evaluate. The only visible change to Resource 271C is the installation of modern communication equipment along the tower's balustrade. Though Resource 271C retains some aspects of integrity, it is not a noteworthy example of its type. Therefore, Resource 271C is recommended not eligible under Criterion C. Resource 271C does not appear to have an association with individuals important to development of Dallas, Texas. Therefore, Resource 271A is not recommended eligible for the NRHP under Criterion B. Individually, Resource 271C does not convey the significance necessary to support eligibility under Criterion A; however, Resource 271 was a major

HNTB Draft HRSR September 2022

	employer in the area, and though its buildings have been non-historically altered, it maintains significance as an integral part of the mid-20th century development of Old East Dallas. Therefore, Resource 271, as a whole, is recommended eligible under Criterion A with a local level of significance in the area of Industry.



Resource 271C (HHM) [43c (HNTB)]: 1950 reissue of 1922 Sanborn Map vol. 3, sheet 399G
Source: Library of Congress

HNTB Draft HRSR October 2022

Resource 271C (HHM) [43c (HNTB)]: view of Resources 271A, 271B, 271C, and 271e, facing southeast

Resource 271C (HHM) [43c (HNTB)]: view of Resources 271B, 271C, and 271E, facing southeast

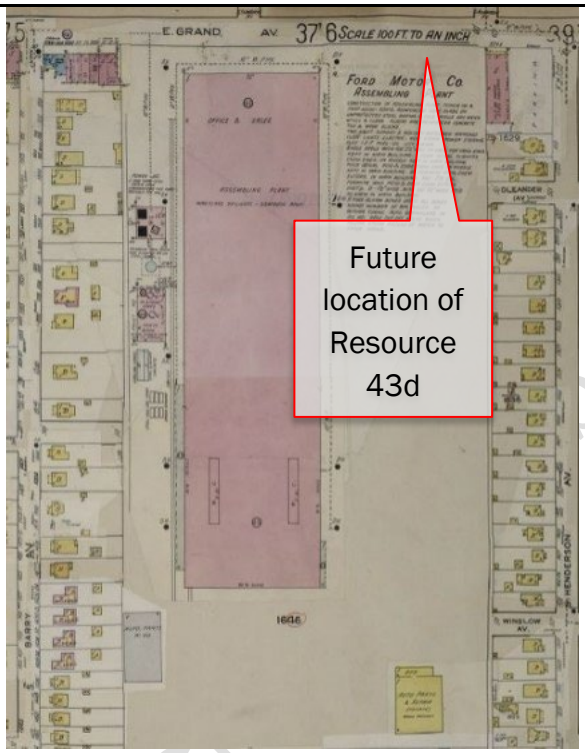
Survey Date:	1/25/2022 (HNTB)	
Resource No:	**271D (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	5200 EAST GRAND AVE, 32.790267999999998/ -96.750845999999996200	
Function/ Subfunction:	Industrial	Auto manufacture
Form:	Rectangular	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1926 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	I-30 East Corridor Project (HNTB, Sept. 2022, Resource #43d) (Not eligible)	
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Ford Motor Co., Contributing	
Criteria, Notes:	Criterion A, Industry, Local level of significance	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 271D	***See photos on following pages.***

Survey Date:	01/25/2022
Resource No:	271D (HHM) [43d (HNTB)]
Project Location:	Dallas
Project Name and	I-30 East Corridor Project; 0009-11-252
Address, Lat/Long:	5200 East Grand Avenue; 32.788587, -96.750256
Function/Sub-	Warehouse/Light Industrial Complex
Construction Date:	c. 1963
NRHP Eligibility:	See HHM 2023 survey form (contributing to Ford Motor Co. Historic District) (Not Eligible per HNTB)
Integrity/Comments:	Retains sufficient integrity for district threshold per Table G-2 in Appendix G (HHM). Per HNTB: Resource 271 is a large, multi-building resource that originally operated as a Ford Motor Company manufacturing facility. Access to the entire parcel was not granted. No ROW is required from Resource 271, and the only portion within the APE is a historic-age, though not original, metal building of no academic type or style (Resource 271D). Only buildings visible from the ROW along East Grand Avenue are evaluated in this report. Resource 271D was constructed between 1958 and 1968 and is the only building within the APE of the proposed project. Resource 271D is long, narrow, side gabled building clad on all exterior surfaces in corrugated metal that does not appear to be historic age. A concrete foundation is visible at ground level. The north elevation front East Grand Avenue and has three openings. A single service bay and a double service bay, both of which are covered by non-historic rolling metal doors, are located at the east end, and a single metal slab door is located at the west end. The west elevation has two large service bays, each covered by non-historic rolling metal doors. No other elevations were visible. A small, non-historic security kiosk is located between Building C and East Grand Avenue. When the plant opened in 1924, Resource 271A and a few smaller buildings (possibly Resource 271B) were the only structures on the large parcel. In fact, as late as a 1950 Sanborn map, single-family frame houses still lined the east and west boundaries of Resource 271. Historic aerial photographs indicate that the plant expanded between 1950 and 1952 with the construction of an addition to the northeast and southeast elevations of Resource 271A. The plant was again expanded between 1958 and 1968 when residential housing was entirely removed and several more buildings were added to the site, including Resource 271D. Buildings have continued to be added and removed from the resource, but the core of the Ford Motor Co. plant remains intact. Resource 271D retains integrity in the aspect of location and setting because it has not been moved, and the surrounding aspect is largely unchanged since its construction Though Resource 271D has not been significantly altered, its materials and method of construction indicate mass production and rapid assembly, and do not convey integrity of materials, design, or workmanship. Additionally, all its visible service bays are covered by non-historic metal rolling doors. Its unadorned, utilitarian design does not convey integrity of feeling or association to any particular style or period of significance. Therefore, Resource 271D is recommended not eligible under Criterion C. Resource 271D does not appear to have an association with individuals important to development of Dallas, Texas. Therefore, Resource 271D is recommended not eligible for the NRHP under Criterion B. Individually, Resource 271D does not convey the significance

HNTB Draft HRR September 2022

	necessary to support eligibility under Criterion A; however, Resource 271 was a major employer in the area, and though its buildings have been non-historically altered, it maintains significance as an integral part of the mid-20th century development of Old East Dallas. Therefore, Resource 271, as a whole, is recommended eligible under Criterion A with a local level of significance in the area of Industry.



Resource 271D (HHM) [43d (HNTB)]: 1950 reissue of 1922 Sanborn Map vol. 3, sheet 399G
Source: Library of Congress

HNTB Draft HRSR October 2022

Resource 271D (HHM) [43d (HNTB)]: view of Resources 271D and 271A, and the historic-age addition to 271A, facing east

Resource 271D (HHM) [43d (HNTB)]: view of Resource 271D with I-30 in the distance, facing east

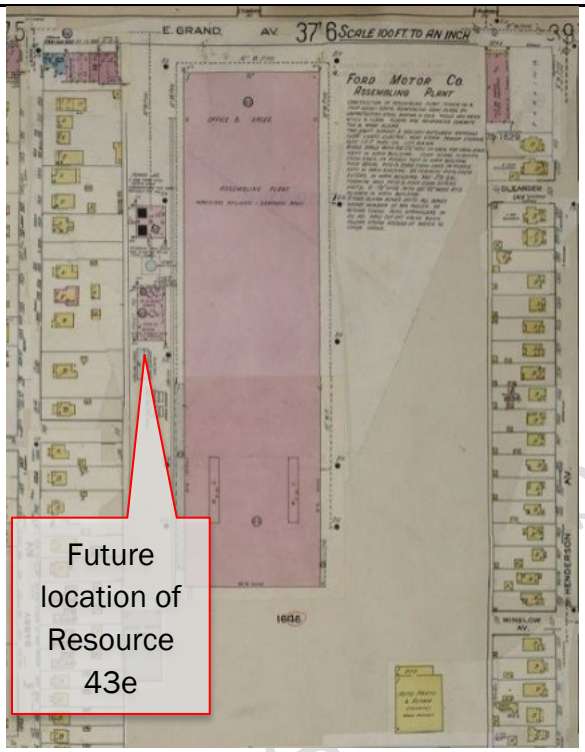
Survey Date:	1/25/2022 (HNTB)	
Resource No:	**271E (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	5200 EAST GRAND AVE, 32.787064000000001/ -96.750017999999997202	
Function/ Subfunction:	Industrial	Auto manufacture
Form:	Rectangular	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1926 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	I-30 East Corridor Project (HNTB, Sept. 2022, Resource #43e) (Not eligible)	
NRHP Eligibility:	Individually eligible for NRHP, Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Ford Motor Co., Contributing	
Criteria, Notes:	Criterion A, Industry, Local level of significance	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 271E	***See photos on following pages.***

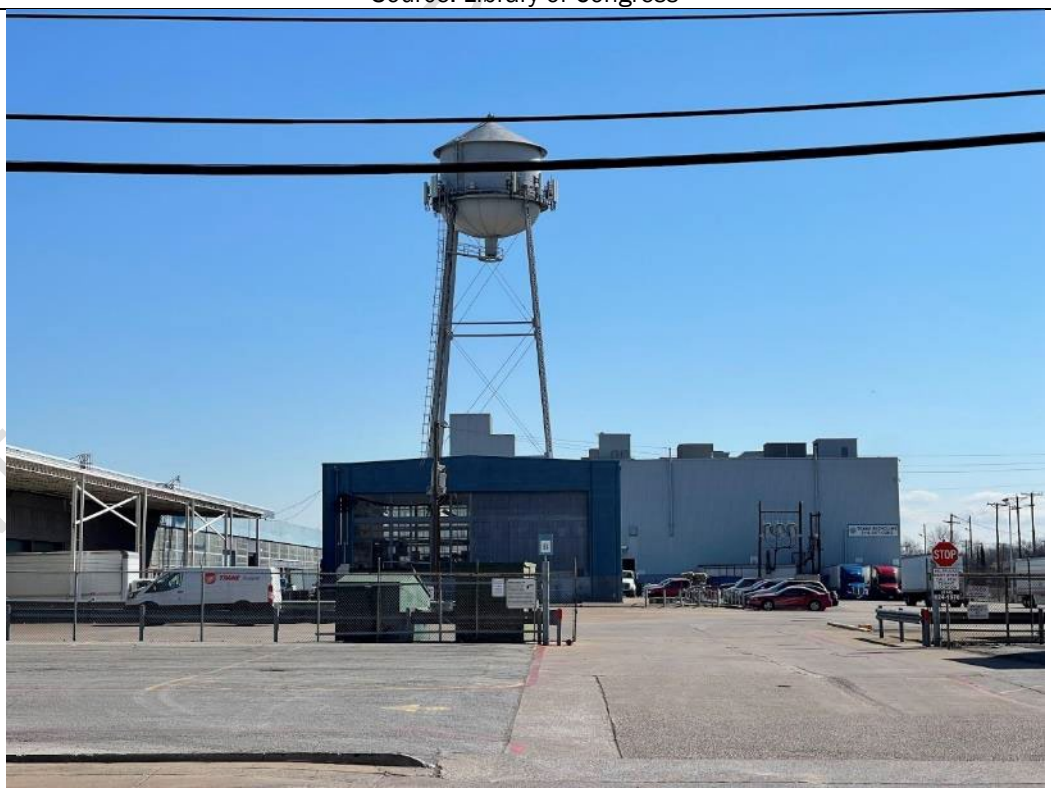
Survey Date:	01/25/2022
Resource No:	271E (HHM) [43e (HNTB)]
Project Location:	Dallas
Project Name and	I-30 East Corridor Project; 0009-11-252
Address, Lat/Long:	5200 East Grand Avenue; 32.788587, -96.750256
Function/Sub-	Warehouse/Light Industrial Complex
Construction Date:	c. 1970
NRHP Eligibility:	See HHM 2023 survey form (contributing to Ford Motor Co. Historic District) (Not Eligible per HNTB)
Integrity/Comments:	Retains sufficient integrity for district threshold per Table G-2 in Appendix G (HHM). Per HNTB: Resource 271 is a large, multi-building resource that originally operated as a Ford Motor Company manufacturing facility. Access to the entire parcel was not granted. No ROW is required from Resource 271, and the only portion within the APE is a historic-age, though not original, metal building of no academic type or style (Resource 271D). Only buildings visible from the ROW along East Grand Avenue are evaluated in this report. Resource 271E is a large, multi-story, metal-clad building of no academic type or style. Based on historic aerial photography, 271E was constructed between 1968 and 1972. Its original purpose is unknown, but at the time of survey, it was in use as a recycling facility. Resource 271E lacks ornamentation and has very few exterior openings. Openings include bay doors for loading trucks, single entry doors at various levels – some accessed by exterior metal staircases, and mechanical unit outputs. Irregular projections on the roof indicate additional machinery is present there. When the plant opened in 1924, Resource 271E and a few smaller buildings (possibly Resource 271B) were the only structures on the large parcel. In fact, as late as a 1950 Sanborn map, single-family frame houses still lined the east and west boundaries of Resource 271. Historic aerial photographs indicate that the plant expanded between 1950 and 1952 with the construction of an addition to the northeast and southeast elevations of Resource 271A. The plant was again expanded between 1958 and 1968 when residential housing was entirely removed and several more buildings were added to the site. Buildings have continued to be added and removed from the resource, but the core of the Ford Motor Co. plant remains intact. Resource 271E retains integrity in the aspect of location and setting because it has not been moved, and the surrounding aspect is largely unchanged since its construction Though Resource 271D has not been significantly altered, its materials and method of construction indicate mass production and rapid assembly, and do not convey integrity of materials, design, or workmanship. Its unadorned, utilitarian design does not convey integrity of feeling or association to any particular style or period of significance. Therefore, Resource 271E is recommended not eligible under Criterion C. Resource 271E does not appear to have an association with individuals important to development of Dallas, Texas. Therefore, Resource 271E is recommended not eligible for the NRHP under Criterion B. Individually, Resource 271E does not convey the significance necessary to support eligibility under Criterion A; however, Resource 271 was a major employer in the area, and though its buildings have been non-historically altered, it maintains significance as an integral part of the mid-20th century development of Old East

HNTB Draft PHASR September 2022

	Dallas. Therefore, Resource 271, as a whole, is recommended eligible under Criterion A with a local level of significance in the area of Industry.



Resource 271E (HHM) [43e (HNTB)]: 1950 reissue of 1922 Sanborn Map vol. 3, sheet 399G
Source: Library of Congress



Resource 271E (HHM) [43e (HNTB)]: view of Resources 271B, 271C, and 271E, facing southeast

HNTB Draft October 2022

Resource 271E (HHM) [43e (HNTB)]: view of Resource 271E, facing east

HNTB Draft HRSR

Survey Date:	1/25/2022 (HNTB)	
Resource No:	**271F (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	5200 EAST GRAND AVE, 32.789433000000002/ -96.749521000000001140	
Function/ Subfunction:	Industrial	Auto manufacture
Form:	Linear	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1965 (Historic aerials)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Ford Motor Co., Contributing	
Criteria, Notes:	Criterion A, Industry, Local level of significance	
Alterations/Additions:	Some exterior wall materials covered, Some doors replaced	
Integrity Notes:		
Effect:	None	

Resource No. 271F (DCF583BF-E0B9-43C7-8B94-DBD7D6C76D11.jpeg)	

Resource No. 271F (BD308352-B62E-49D7-8E26-1BD6A9C77392.jpeg)	
Resource No. 271F (DBB25DD7-8EF9-4D6E-BF5F-61A8981E470B.jpeg)	

Survey Date:	1/25/2022 (HNTB)	
Resource No:	**271G (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	5200 EAST GRAND AVE, 32.788029000000002/ -96.748249999999999139	
Function/ Subfunction:	Industrial	Shed
Form:	Rectangular	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1955 (Historic aerial)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	Ford Motor Co., Contributing	
Criteria, Notes:	Criterion A, Industry, Local level of significance	
Alterations/Additions:	Some doors replaced	
Integrity Notes:		
Effect:	None	

Resource No. 271G (61AF12D4-A1F3-4ACF-AD99-E8E41704DBF9.jpeg)

Resource No. 271G (4BAD8F9E-72DD-4349-B9BC-23323C3FFF41.jpeg)	

Survey Date:	12/29/2023	
Resource No:	**272 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	5217 EAST GRAND AVE, 32.79025/ -96.751582999999997384	
Function/ Subfunction:	Residential	Auto Sales/Service
Form:	One-part commercial block	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1951 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	Service bay doors replaced, Storefront altered	
Integrity Notes:		
Effect:	None	

Resource No. 272 (F80F5E73-ABCF-490B-B5D9-EF688564238E.jpeg)

Resource No. 272 (55BA457D-C403-40D0-A9C0-35CE663B348D.jpeg)	

Survey Date:	12/29/2023	
Resource No:	**273 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	5215 EAST GRAND AVE, 32.790332999999997/ -96.751696999999993383	
Function/ Subfunction:	Residential	Garage
Form:	Rectangular	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1920 (In field estimate)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	Bankhead Highway (HHM, 2013) (Not Individually Eligible)	
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	Side party wall missing	
Integrity Notes:		
Effect:	None	

Resource No. 273 (5F13A877-CBF7-4C47-9DCE-5489B89674EC.jpeg)

Resource No. 273 (5588D030-7622-4FF1-AD5D-AAD88855F4EB.jpeg)	

Survey Date:	1/25/2022 (HNTB)	
Resource No:	**274 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	5219 EAST GRAND AVE, 32.790408999999997/ -96.751569000000003441	
Function/ Subfunction:	Commercial	Auto repair
Form:	Rectangular	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1925 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	Bankhead Highway (HHM, 2013); I-30 East Corridor Project (HNTB, Sept. 2022, Resource #42) (Not Individually Eligible, Not Eligible)	
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance, Lacks integrity	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	Doors and windows replaced	Side addition
Integrity Notes:	Alterations outside period of significance	
Effect:	None	

Resource No. 274	***See photos on following pages.***

Survey Date:	01/25/2022
Resource No:	274 (HHM) [42 (HNTB)]
Project Location:	Dallas
Project Name and CSJ:	I-30 East Corridor Project; 0009-11-252
Address, Lat/Long:	5219 East Grand Avenue; 32.790256, -96.751444
Function/Sub-function:	Commercial/Auto Repair
Construction Date:	1925
NRHP Eligibility:	Not Eligible
Integrity/Comments:	Resource 274 is a one-story building with a flat roof. The main elevation faces southeast and is clad stucco. The main elevation is fenestrated by a non-historic metal door with a large central window flanked by two bays of two non-historic fixed meal windows and two bays of four fixedmetal windows. The northeast of the building has a non-historic recessed concrete masonry unit garage with a low-pitch metal shed roof. The garage has two large bays accessed by metal garage doors. The northeast elevation has non-historic metal windows anda non-historic metal door with a large window. The southwest elevation stands flushagainst neighboring buildings. Resource 274 retains integrity in the aspects of location. The property stands in its original location but integrity in the aspect of setting has been diminished from the removal of historic-age residences north and west of the resource. The changes in the building's fenestration includingthereplacement of doors and windows on the main elevation and the non-historic addition of a large garage have reduced integrity in the aspects of design, materials, and workmanship. Without the ability to convey significance in the aspect of design, the building no longer evokes asense of commercial life in the early-twentieth century. Due to the design changes, Resource 274 no longer possesses a direct link to the past and does not retain integrity in the aspect of association. Research did not reveal an association between Resource 274 and any events or people that have made significant contributions to history in Dallas. Therefore, the property is recommended not eligible under Criterion A or B. The property was evaluated under CriterionC and is recommended not eligible. Although it retains some aspects of integrity, the building does not represent and distinct type or style, nor does it embody design elements of a particular era.

HNTB Draft HHR Submittal 2022

Resource 274 (HHM) [42 (HNTB)]: view of façade (southeast elevation)

HNTB Draft

Resource 274 (HHM) [42 (HNTB)]: view of non-historic garage addition on northeast elevation

HNTB Draft

Review 274 (HHM) [42 (HNTB)]: oblique view of façade and northeast elevation

HNTB Draft

Survey Date:	1/25/2022 (HNTB)	
Resource No:	**275 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	5244 EAST GRAND AVE, 32.790548000000001/ -96.750335000000007439	
Function/ Subfunction:	Commercial	Office
Form:	Rectangular	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1946 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	I-30 East Corridor Project (HNTB, Sept. 2022, Resource #44) (Not eligible)	
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance, Lacks integrity	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	Roof shape altered, fenestration pattern altered, doors and windows replaced, exterior materials replaced	
Integrity Notes:	Alterations outside period of significance	
Effect:	None	

Resource No. 275	***See photos on following pages.***

Survey Date:	01/25/2022
Resource No:	275 (HHM) [44 (HNTB)]
Project Location:	Dallas
Project Name and CSJ:	I-30 East Corridor Project; 0009-11-252
Address, Lat/Long:	5244 East Grand Avenue; 32.790531, -96.750400
Function/Sub-function:	Commercial
Construction Date:	1960
NRHP Eligibility:	Not Eligible
Integrity/Comments:	Resource 275 is a one-story building standing on a concrete slab foundation. The main elevation faces northeast and is clad in non-historic stucco. Non-historic engaged pilasters linethe main elevation. Non-historic metal doors and non-historic fixed metal windows fenestratethe elevation. The doors and windows are obscured by metal fences and bars. The northwest elevation has two non-historic fixed metal windows also obscured by metal bars. The building has a flat roof with a non-historic standing seem shed roof lining the main and northwest elevations. The shed roof lines the top of the main elevation and covers half of the wall above the openings. The shed roof joins at a hip at the north corner of the building and covers half of the wall of the side elevation. The southwest facing elevation is cladin historic-age five course common bond brick. Resource 275 retains integrity in the aspects of location and setting only. The property stands in its original location within a commercial setting. Non-historic additions, the non-historic roof, and the changes in the building's fenestration including the replacement of doors and windowson the main elevation have reduced integrity in the aspects of design, materials, and workmanship. Without the ability to convey significance in the aspect of design, the building no longer evokes a sense of commercial life in the mid-twentieth century. Due to the design changes, Resource 275 no longer possesses a direct link to the past and does not retain integrity in the aspect of association. Research did not reveal an association between Resource 275 and any events or people that have made significant contributions to history in Dallas. Therefore, the property is recommended not eligible under Criterion A or B. The property was evaluated under Criterion C and is recommended not eligible. Although it retains some aspects of integrity, the building does not represent and distinct type or style, nor does it embody design elements of a particular era.

HNTB Draft HHSR September 2022

Resource 275 (HHM) [44 (HNTB)]: view of northwest elevation

HNTB Draft

Resource 275 (HHM) [44 (HNTB)]: view of façade (northeast elevation)

HNTB Draft

Survey Date:	1/13/2023	
Resource No:	**276 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	5230 E R. L. THORNTON FWY, 32.790602/ -96.74946699999999624	
Function/ Subfunction:	Commercial	Auto Sales/Service
Form:	Box	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	0 (Desktop survey)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		Side addition
Integrity Notes:		
Effect:	None	

Resource No. 276 (E7D67913-4C49-41D7-B9E5-5BEFA2D816D0.jpeg)

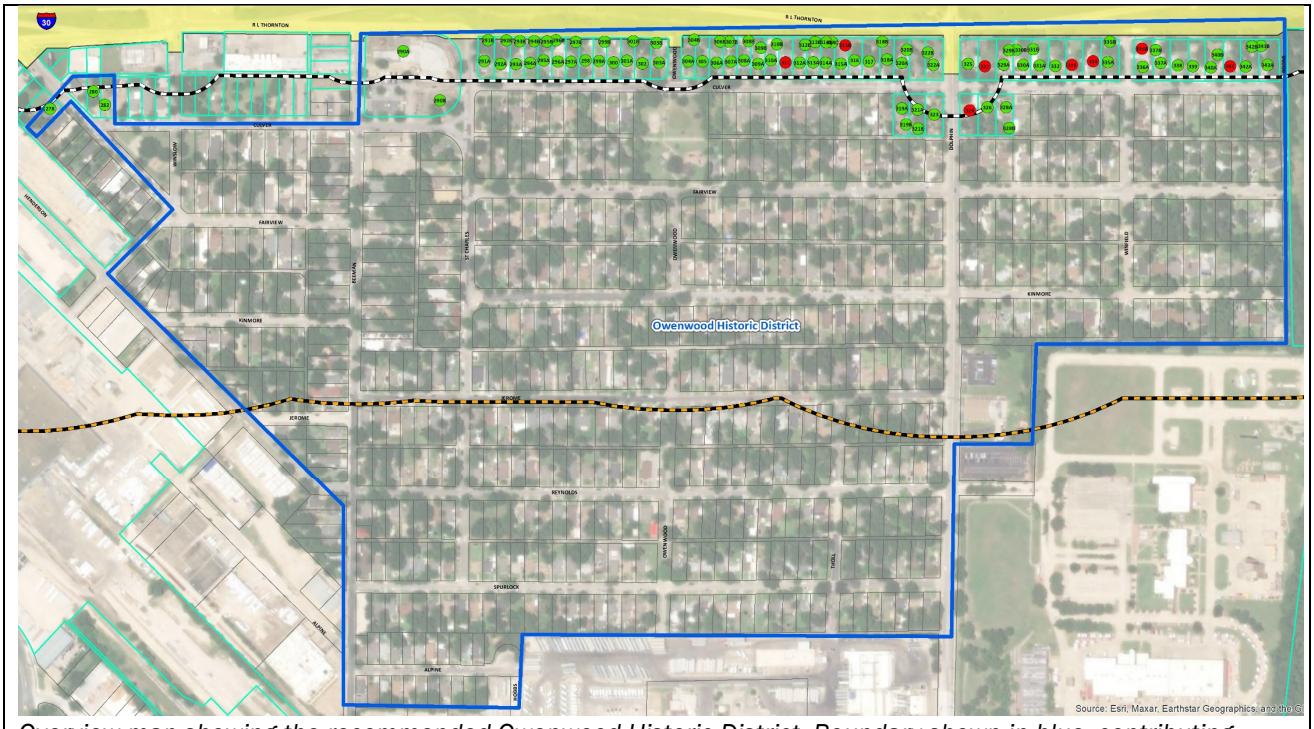
Resource No. 276 (6F2DD96E-EDA9-410D-9EB1-5D21D88BDCB5.jpeg)	

Survey Date:	1/13/2023	
Resource No:	**277 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	1302 S HENDERSON AVE, 32.790576000000001/ -96.74903999999999422	
Function/ Subfunction:	Commercial	Shed
Form:	Rectangular	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	0 (Desktop survey)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 277 (28C24017-7FE8-4B18-AD5F-E5553F12718B.jpeg)

Resource No. 277 (4AEB5398-3D34-404D-B944-1D65F80D2054.jpeg)	
Resource No. 277 (5F85142A-448B-4B89-AE70-096C3716A9E7.jpeg)	

Survey Date:	12/27/2022 (HHM)
District Name:	**OWENWOOD HISTORIC DISTRICT (HHM)**
Resource Nos.:	**278, 280, 282, 290A-343B**
Project Location:	Dallas County, Dallas District
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251
Rough Boundaries:	E R L Thornton Access Road/Culver Street on the north, Boone Avenue/Dolphin Road on the east, Alpine Street on the south, and Beeman Avenue/Henderson Avenue/Fairview Avenue on the west
Functions/ Subfunctions:	Residential, Religious
Forms:	Bungalow
Stylistic Influence(s):	National Folk, Craftsman, Tudor Revival, and Minimal Traditional
Construction Dates:	(Appraisal district)
NRHP Eligibility:	Eligible as a district
NR District, Status:	Owenwood,
Criteria, Notes:	Criterion A, Criterion C, Architecture, Ethnic Heritage, Community Planning & Development, Local level of significance; Period of significance 1923-1973
Alterations/ Additions:	
Integrity Notes:	
Effect:	None



Overview map showing the recommended Owenwood Historic District. Boundary shown in blue, contributing resources in green, noncontributing resources in red. See Appendix D for a larger-scale map and legend.

Recommended Owenwood Historic District, contextual photos (outside of APE).

Recommended Owenwood Historic District, contextual photos (outside of APE).

Survey Date:	1/12/2023	
Resource No:	**278 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	1329 FAIRVIEW AVE, 32.790194/ -96.747943000000006148	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	Craftsman	
Construction Date:	1926 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Owenwood, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Ethnic Heritage, Community Planning & Development, Local level of significance	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 278 (8617737C-DE44-4217-B673-07358B636304.jpeg)

Resource No. 278 (02C46397-01B9-49F4-9E7B-FF33E5F91E8E.jpeg)	

Survey Date:	1/26/2022 (HNTB)	
Resource No:	**279 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	1305 FAIRVIEW AVE, 32.790652999999999/ -96.748738000000003438	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	Craftsman	
Construction Date:	1946 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	I-30 East Corridor Project (HNTB, Sept. 2022, Resource #80) (Not eligible)	
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks integrity	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	Porch altered, exterior materials replaced, windows replaced	
Integrity Notes:	Alterations outside period of significance	
Effect:	None	

Resource No. 279	***See photos on following pages.***

Survey Date:	01/26/2022
Resource No:	279 (HHM) [80 (HNTB)]
Project Location:	Dallas
Project Name and CSJ:	I-30 East Corridor Project; 0009-11-252
Address, Lat/Long:	1305 Fairview Avenue; 32.790606, -96.748740
Function/Sub-function:	Residence
Construction Date:	1946
NRHP Eligibility:	Not Eligible
Integrity/Comments:	Resource 279 is a one-story residence standing on a concrete slab foundation. The residence is clad in non-historic vinyl clapboards and has a hipped roof clad in non-historic asphalt shingles. The main elevation faces northeast. Three non-historic 9/9 vinyl double-sash windows and a non-historic vinyl door fenestrate the main elevation. The main elevation is accessed from a front porch covered by a front-facing gable roof. Two wood posts support the gable wall. The front-facing gable has two decorative brackets and a central vent. The northwest elevation has a non-historic vinyl double-sash window and an arched vinyl fixed window. A projected shed roof addition is located on the northwest side elevation. The shed roof is clad in the same non-historic asphalt shingles. Resource 279 retains integrity in the aspects of location and setting only. The property stands in itsoriginal location within a residential setting. Changes to historic-age cladding materials and historic-age openings have reduced integrity in the aspects of design, materials, and workmanship. Without the ability to convey significance in the aspect of design, the building no longer evokes asense of a residence in the early-twentieth century. Due to the design changes, Resource 279 nolonger possesses a direct link to the past and does not retain integrity in the aspect of association. Research did not reveal an association between Resource 279 and any events or people that have made significant contributions to history in Dallas. Therefore, the property is recommended not eligible under Criterion A or B. The property was evaluated under CriterionC and is recommended not eligible. Although it retains some aspects of integrity and is recognizable as a Folk Victorian cottage, changes to historic-age materials inhibit its ability to convey significance of a particular era.

HNTB Draft HRSR Report September 2022

Resource 279 (HHM) [80 (HNTB)]: view of façade (northeast elevation)

HNTB Draft

Resource 279 (HHM) [80 (HNTB)]: oblique view of façade and northwest elevation

HNTB Draft

Resource 279 (HHM) [80 (HNTB)]: view of northwest elevation

HNTB Draft

Survey Date:	12/29/2023	
Resource No:	**280 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	1334 FAIRVIEW AVE, 32.790363999999997/ -96.747434999999996382	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1925 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Owenwood, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Ethnic Heritage, Community Planning & Development, Local level of significance	
Alterations/Additions:	All windows replaced, Exterior wall materials replaced, Doors replaced	
Integrity Notes:		
Effect:	None	

Resource No. 280 (8007D9F4-2AA7-4245-BCDC-BAE5F09E53AD.jpeg)

Resource No. 280 (D8EEB60C-6C83-4028-A814-C93E548785CF.jpeg)	

Survey Date:	1/26/2022 (HNTB)	
Resource No:	**281 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	5506 E R. L. THORNTON FWY, 32.790647999999997/ -96.747462999999996437	
Function/ Subfunction:	Commercial	Store
Form:	Rectangular	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1977 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	I-30 East Corridor Project (HNTB, Sept. 2022, Resource #81) (Not eligible)	
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 281	***See photos on following pages.***

Survey Date:	01/26/2022
Resource No:	281 (HHM) [81 (HNTB)]
Project Location:	Dallas
Project Name and CSJ:	I-30 East Corridor Project; 0009-11-252
Address, Lat/Long:	5506 E.R.L. Thornton Freeway; 32.790594, -96.747461
Function/Sub-function:	Commercial
Construction Date:	1977
NRHP Eligibility:	Not Eligible
Integrity/Comments:	Resource 281 is a single-story commercial building constructed on concrete block with a flat roof. The façade features a metal and fixed glass storefront sheltered beneath an awning that creates a covered walkway between the resource and the parking lot. There appears to be an addition on the rear elevation because it is shorter than the main body of the resource and clad in non-historic pressed board siding. However, historic aerial imagery suggests this section of the building is original. It also features a flat roof topped with barbed wire. There are no openings on the side elevations and access to the rear was not permitted. Resource 281 sits on a paved lot with no landscaping or fencing. Resource 281 retains integrity in the aspects of location, setting, design, feeling, and association. It does not retain integrity of materials or workmanship. Resource 281 has not been moved, and its viewshed has changed little since its 1977 construction. Though the rear section of the building appears to be an addition, historic photography shows that it is original. Resource 281 retains its original form and fenestration pattern and, therefore, retains integrity of design. Resource 281 is largely unchanged and retains integrity of feeling and association as an active commercial property along a busy interstate access road. Due to the installation of a non-historic awning and the application of non-historic pressed board siding to the rear section of the building, Resource 281 does not retain integrity of materials. The method of construction and materials used are not those that require or exhibit exceptional workmanship, so Resource 281 does not possess integrity in the aspect of workmanship. Therefore, Resource 281 is recommended not eligible for the NRHP under Criterion C. Resource 281 does not appear to have an association with significant historical events or individuals important to development of Dallas, Texas. Therefore, Resource 281 is recommended not eligible for the NRHP under Criteria A or B.

HNTB Draft HABS Submittal May 2022

Resource 281 (HHM) [81 (HNTB)]: view of façade (north elevation)

HNTB Draft

Resource 281 (HHM) [81 (HNTB)]: view of façade oblique, facing southeast

HNTB Draft

Survey Date:	12/29/2023	
Resource No:	**282 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	5507 CULVER ST, 32.790230999999999/ -96.747298999999998381	
Function/ Subfunction:	Residential	Single-family house
Form:	Square plan hipped-roof	
Stylistic Influence(s):	National Folk	
Construction Date:	1918 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Owenwood, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Ethnic Heritage, Community Planning & Development, Local level of significance	
Alterations/Additions:	All windows replaced, Exterior wall materials replaced, Doors replaced	
Integrity Notes:		
Effect:	None	

Resource No. 282 (D48E07F0-D66D-44C4-8C4D-E2EC05592AF0.jpeg)

Resource No. 282 (38E7219B-4558-4756-8A58-F5715FE8F6F5.jpeg)	

Survey Date:	12/29/2023	
Resource No:	**283 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	5511 CULVER ST, 32.790295/ -96.747133000000005380	
Function/ Subfunction:	Residential	Single-family house
Form:	Square plan hipped-roof	
Stylistic Influence(s):	National Folk	
Construction Date:	1918 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks integrity	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	All windows replaced, Exterior wall materials replaced, Porch altered, Doors replaced	Dormer added
Integrity Notes:		
Effect:	None	

Resource No. 283 (88C6AD63-4124-4A38-BB27-45DA5778819C.jpeg)

Resource No. 283 (0DF2B5D5-867E-4019-97A9-FACD1D786A20.jpeg)	

Survey Date:	12/29/2023	
Resource No:	**284 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	5515 CULVER ST, 32.79025/ -96.746960999999999379	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1918 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks integrity	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	All windows replaced, Exterior wall materials replaced, Porch altered, Doors replaced	
Integrity Notes:		
Effect:	None	

Resource No. 284 (A2175242-0874-435A-BC4A-C879DB99FCDF.jpeg)

Resource No. 284 (B712E811-DA8F-4BD0-B790-EA86C5F80F9C.jpeg)	

Survey Date:	12/29/2023	
Resource No:	**285 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	5519 CULVER ST, 32.790278999999998/ -96.746809999999996378	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1926 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks integrity	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	All windows replaced, Exterior wall materials replaced, Porch altered	
Integrity Notes:		
Effect:	None	

Resource No. 285 (F1CB20BC-FDCD-4BF1-BD32-900CBE62D491.jpeg)

Resource No. 285 (56D46BDB-2936-4521-BF82-B52EA18BC79F.jpeg)	

Survey Date:	12/29/2023	
Resource No:	**286 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	5523 CULVER ST, 32.790253/ -96.746646999999996377	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1946 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks integrity	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	Exterior wall materials replaced, Porch enclosed, Doors replaced	
Integrity Notes:		
Effect:	None	

Resource No. 286 (FC8D57D1-3F54-44E6-AB42-3CCA60EA867D.jpeg)

Resource No. 286 (12C2454C-1B24-4786-AF79-2676C2BE744D.jpeg)	

Survey Date:	12/29/2023	
Resource No:	**287A (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	5611 CULVER ST, 32.790224000000002/ -96.746025000000003376	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1920 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks integrity	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	All windows replaced, Exterior wall materials replaced, Porch altered	
Integrity Notes:		
Effect:	None	

Resource No. 287A (391F5B37-FCC0-4B6C-89D4-D5AAA0314148.jpeg)

Resource No. 287A (1D45C28E-111C-4C11-B0D9-DCB2F13FE58F.jpeg)	

Survey Date:	1/10/2023	
Resource No:	**287B (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	5611 CULVER ST, 32.790418000000003/ -96.745949999999993197	
Function/ Subfunction:	Residential	Back house
Form:	Rectangular	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1970 (In field estimate)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance, Lacks integrity	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	All windows replaced	
Integrity Notes:		
Effect:	None	

Resource No. 287B (C1BEECD7-1EF9-47F1-9487-FB34BE359117.jpeg)

Survey Date:	1/26/2022 (HNTB)	
Resource No:	**288 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	5606 E R. L. THORNTON FWY, 32.790714000000001/ -96.746094999999997436	
Function/ Subfunction:	Commercial	Gas station
Form:	Rectangular	
Stylistic Influence(s):	Ranch	
Construction Date:	1964 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	Bankhead Highway (HHM, 2013), I-30 East Corridor Project (HNTB, Sept. 2022, Resource #82) (Not Individually Eligible, Not eligible)	
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance, Lacks integrity	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	Storefront altered, canopy replaced	
Integrity Notes:		
Effect:	None	

Resource No. 288	***See photos on following pages.***

Survey Date:	01/26/2022
Resource No:	288 (HHM) [82 (HNTB)]
Project Location:	Dallas
Project Name and CSJ:	I-30 East Corridor Project; 0009-11-252
Address, Lat/Long:	5606 E.R.L. Thornton Freeway; 32.790661, -96.746090
Function/Sub-function:	Commercial
Construction Date:	1964
NRHP Eligibility:	Not Eligible
Integrity/Comments:	Based on descriptions in the TxDOT historical studies report *A Field Guide to Gas Stations in Texas,* Resource 288 was originally a Ranch House with Canopy style Shell gas station. It currently has a free-standing, flat roofed canopy, but historic aerial photography proves that Resource 288 originally had a canopy that extended from the smaller front gable to cover the gas pumps. The current canopy is in the same location as the original canopy, which indicates that the pumps, though non-historic, are generally in the same historic-age placement. The façade of Resource 288 is typical of Shell gas stations of the period and features a long, low form; a two-part front-gabled roof with the secondary gable inset as an office or retail space; brick and wood exterior finishes; and large plate glass windows. There have been non-historic changes to several of the character-defining features including what appears to be the enclosure of a service bay on the east end of the façade, non-historic painting of all elevations including the gable windows, the replacement of the original metal and fixed glass storefront with non-historic window and door units. Resource 288 retains integrity in the aspects of location, setting, and association. Resource 288 has not been moved, and its viewshed has changed little since its 1964 construction. Though altered, Resource 288 is readily identifiable as a mid-20th century Ranch House Shell gas station and retains integrity of association. Resource 288 no longer retains integrity of materials, design, workmanship, or feeling. Painting the exterior wood, brick, and some windows; replacing the historic-age storefront; and removing and replacing the historic-age canopy and gas pumps has significantly compromised the resource's integrity of materials, design, and workmanship. Because so much historic-age material has been lost or obscured, the resource no longer retains integrity of feeling as a 1964 Shell gas station. Therefore, Resource 288 is recommended not eligible for the NRHP under Criterion C. Resource 288 does not appear to have an association with significant historical individuals important to development of Dallas, Texas. Therefore, Resource 288 is recommended not eligible for the NRHP under Criterion B. Resource 288 was evaluated under Criterion A, but due to the loss of its character-defining canopy and other non-historic alterations, it is no longer a good and intact example of a mid-20th century Shell gas station and is recommended not eligible for the NRHP.

HNTB Draft for TxDOT Submittal 2022

Resource 288 (HHM) [82 (HNTB)]: view of façade oblique, facing southwest

HNTB Draft

Resource 288 (HHM) [82 (HNTB)]: view of façade oblique, facing southeast

HNTB Draft

Survey Date:	1/26/2022 (HNTB)	
Resource No:	**289 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	0 E R. L. THORNTON FWY, 32.790663000000002/ -96.745445000000004435	
Function/ Subfunction:	Commercial	Store
Form:	Rectangular	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1965 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	I-30 East Corridor Project (HNTB, Sept. 2022, Resource #83) (Not eligible)	
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance, Lacks integrity	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	Slipcover applied	
Integrity Notes:		
Effect:	None	

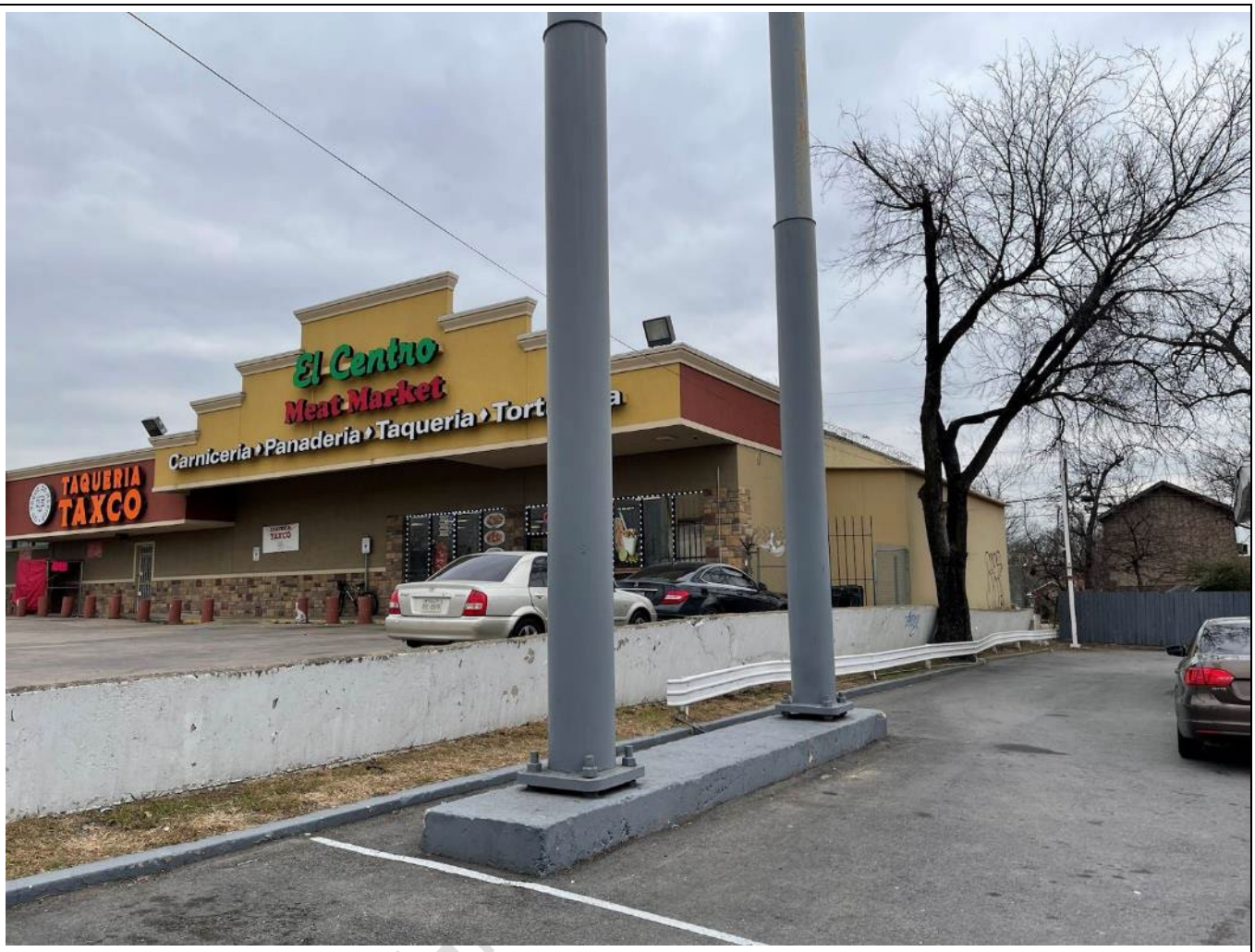
Resource No. 289	***See photos on following pages.***

Survey Date:	01/26/2022
Resource No:	289 (HHM) [83 (HNTB)]
Project Location:	Dallas
Project Name and CSJ:	I-30 East Corridor Project; 0009-11-252
Address, Lat/Long:	5614 E.R.L. Thornton Freeway, 32.79067, -96.74557
Function/Sub-function:	Commercial
Construction Date:	c. 1960-c.2018
NRHP Eligibility:	Not Eligible
Integrity/Comments:	Resource 289 is a large, single story commercial building. The original core of the resource was constructed between 1958 and 1968. A construction date of c. 1960 has been determined for the original core of the building. Between 1972 and 1979, the resource more than doubled in size with the construction of a large addition to the east. The building was enlarged a second time between 2016 and 2018, also to the east. There are no historic-age materials visible on any elevation of Resource 289. It is presumed that when the second addition was constructed between 2016 and 2018, the entire building was remodeled to match. Resource 289 retains integrity in the aspects of location and setting only, because it has not been moved, and its viewshed has changed little since its ca. 1960 Construction. Due to the comprehensive encapsulation of the building in non-historic materials, Resource 289 does not retain integrity in the aspects of materials, design, workmanship, feeling, or association. Therefore, Resource 289 is recommended not eligible for the NRHP under Criterion C. Resource 289 does not appear to have an association with significant historical events or individuals important to development of Dallas, Texas. Therefore, Resource 289 is recommended not eligible for the NRHP under Criteria A or B.

HNTB Draft HRSR September 2022

Resource 289 (HHM) [83 (HNTB)]: view of façade oblique, facing southwest

HNTB Draft



Resource 289 (HHM) [83 (HNTB)]: view of original section of the resource, facing southeast

HNTB Draft

Survey Date:	1/26/2022 (HNTB)	
Resource No:	**290A (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	5710 E R. L. THORNTON FWY, 32.790757999999997/ -96.743809999999996434	
Function/ Subfunction:	Religious	Church
Form:	Central block with wings	
Stylistic Influence(s):	Gothic Revival	
Construction Date:	1936 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	I-30 East Corridor Project (HNTB, Sept. 2022, Resource #84) (Not eligible)	
NRHP Eligibility:	Individually eligible for NRHP, Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Owenwood, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Ethnic Heritage, Community Planning & Development, Local level of significance	
Alterations/Additions:		Side addition
Integrity Notes:	Alterations compatible	
Effect:	None	

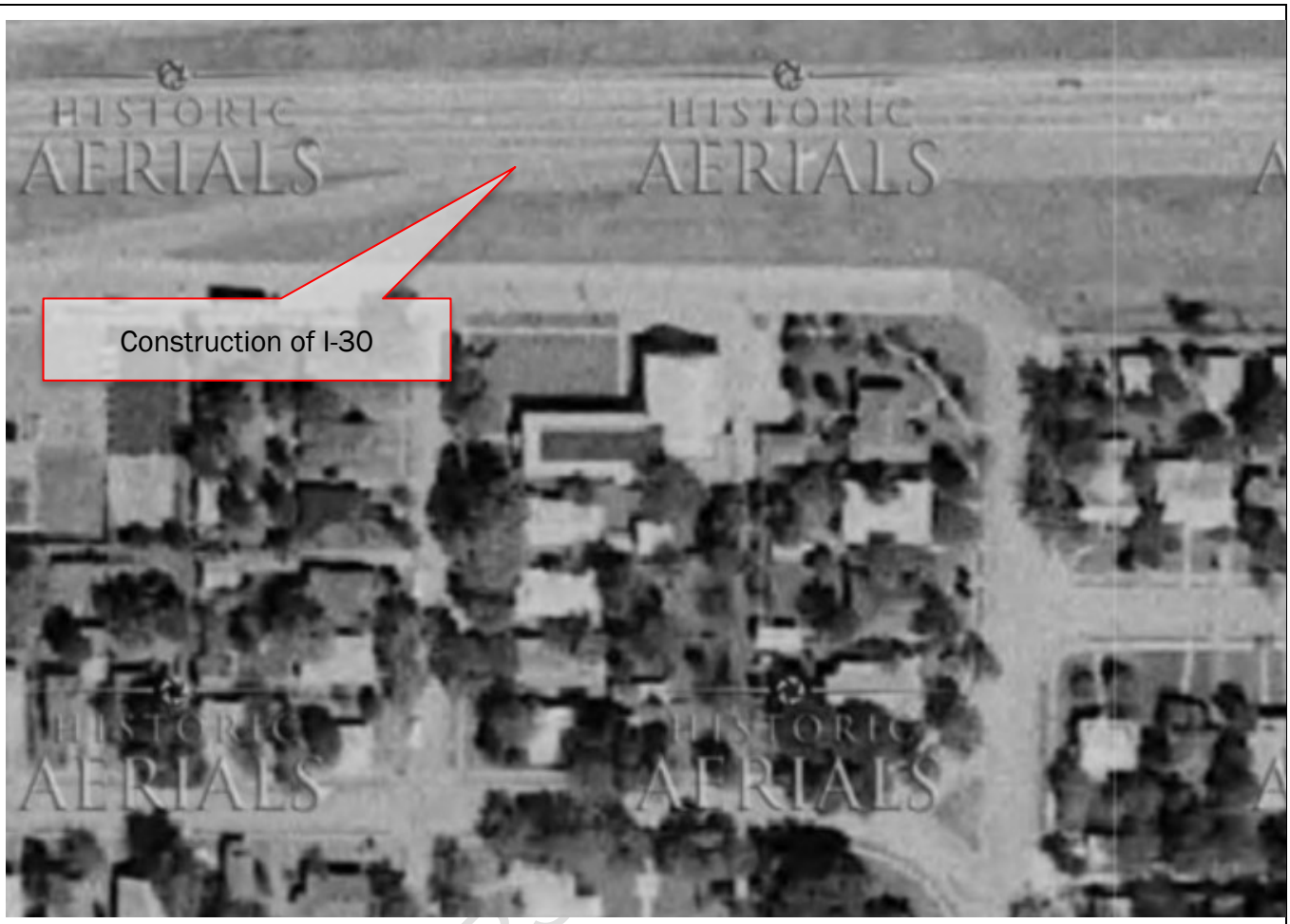
Resource No. 290A	***See photos on following pages.***

Survey Date:	01/26/2022
Resource No:	290A (HHM) [84 (HNTB)]
Project Location:	Dallas
Project Name and CSJ:	I-30 East Corridor Project; 0009-11-252
Address, Lat/Long:	5710 E.R.L. Thornton Freeway; 32.790740, -96.743814
Function/Sub-function:	Church
Construction Date:	1936
NRHP Eligibility:	See HHM 2023 survey form (individually eligible and contributing to Owenwood Historic District) (Not Eligible per HNTB)
Integrity/Comments:	Retains sufficient integrity under relevant aspects for significance under Criterion A and for district threshold per Table G-2 in Appendix G (HHM). Per HNTB: Resource 290A is a two-story church standing on a concrete slab foundation. The historic-age portions of the church are the one-story crossed hipped gable roof sanctuary and the two-story addition topped with a cross hipped roof. The roofs are clad in non-historic asphalt shingles. The two historic-age portions are clad in five course common Flemish bond brick Two sets of non-historic windowed wood double-doors, two pointed arched windows, and a central circular window fenestrate the historic-age main elevation. The main elevation wall extends past the front-facing gable roof into a decorative cornice and pediment. The side elevation of the historic-age sanctuary has multiple historic-age pointed arched windows and historic-age 2/2 metal double-sash windows. The historic-age two-story addition has multiple 2/2 metal double-sash windows and metal doors. The rear of the two-story addition is partially clad in non-historic vinyl clapboards. During the non-historic period, a two-story addition was added to the east side of the church. The addition is clad in common bond brick veneer and has a curved elevation that faces northeast. The addition also includes a one-story breezeway that connects to the historic-age portion of the church. The breezeway has glass doors and large fixed windows. Resource 290A retains integrity in the aspects of location and setting only. The property stands in itsoriginal location within a residential setting. The construction of a non-historic addition, the replacement of the historic-age door and windows, and alterations to cladding materials have reduced integrity in the aspects of design, materials, and workmanship. Without the ability to convey significance in the aspect of design, the building no longer evokes a sense of a church in the mid-twentieth century. Due to the design changes, Resource 290A no longer possesses a direct link to the past and does not retain integrity in the aspect of association. Research did not reveal an association between Resource 290A and any events or people that have made significant contributions to history in Dallas. Therefore, the property is recommended not eligible under Criterion A or B. The property was evaluated under CriterionC and is recommended not eligible. Although it retains some aspects of integrity, the construction of a non-historic addition and changes to historic-age materials inhibit its ability to convey significance of a particular era. Resource 290A was also evaluated using Criteria Consideration A for religious properties, but because the resource does not derive primary significance from architectural distinction or historical importance, it is recommended not eligible.

HNTB Draft HRSR October 2022

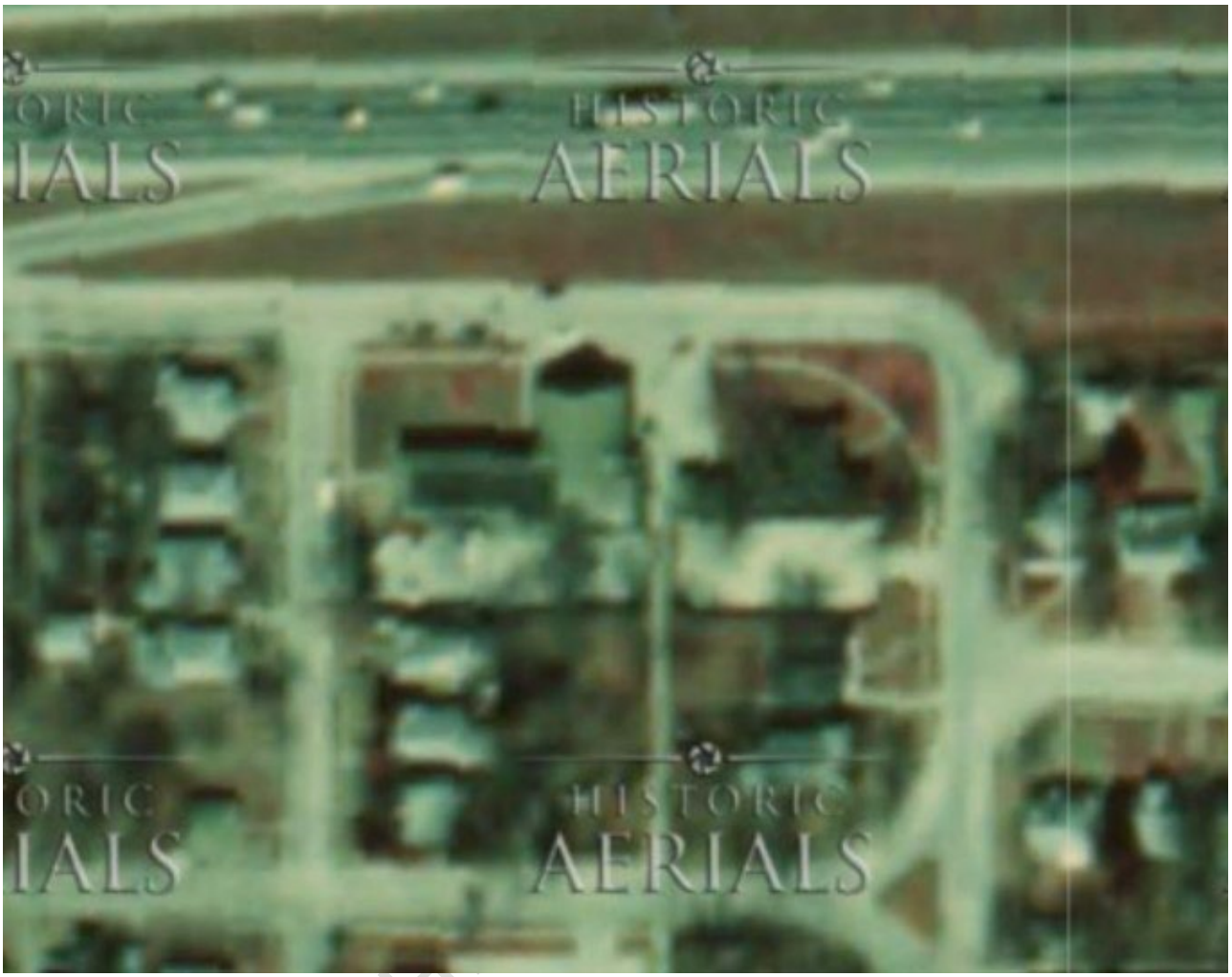
Resource 290A (HHM) [84 (HNTB)]: 1952 aerial photograph showing original footprint
Source www.historicaerials.com

HNTB Draft PAR



Resource 290A (HHM) [84 (HNTB)]: 1968 aerial photograph
Source www.historicaerials.com

HNTB Draft HRC



Resource 290A (HHM) [84 (HNTB)]: 1989 aerial photograph
Source www.historicaerials.com

HNTB Draft

Resource 290A (HHM) [84 (HNTB)]: 1995 aerial photograph showing non-historic addition
Source www.historicaerials.com

HNTB Draft

Resource 290A (HHM) [84 (HNTB)]: view of non-historic addition, facing southeast

HNTB Draft

Resource 290A (HHM) [84 (HNTB)]: oblique view of historic-age elevation, facing southwest

HNTB Draft HRS

Resource 290A (HHM) [84 (HNTB)]: view of historic-age elevation, facing south

HNTB Draft

Resource 290A (HHM) [84 (HNTB)]: view of historic-age two-story addition, facing south

HNTB Draft

Resource 290A (HHM) [84 (HNTB)]: view of historic-age rear and non-historic addition, facing east

HNTB Draft

Survey Date:	12/29/2023	
Resource No:	**290B (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	5710 E R. L. THORNTON FWY, 32.790275000000001/ -96.743384000000006370	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	Tudor Revival	
Construction Date:	1936 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Owenwood, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Ethnic Heritage, Community Planning & Development, Local level of significance	
Alterations/Additions:	Doors replaced	
Integrity Notes:		
Effect:	None	

Resource No. 290B (9BC41E0A-0A2F-4438-BDE9-B5C0FDCF5CEA.jpeg)

Resource No. 290B (C2F44937-093C-416E-BDDD-37A2A0A9439D.jpeg)	

Survey Date:	12/29/2023	
Resource No:	**291A (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3001 CULVER ST, 32.790661/ -96.742862000000002375	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	Tudor Revival	
Construction Date:	1925 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Owenwood, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Ethnic Heritage, Community Planning & Development, Local level of significance	
Alterations/Additions:	Some exterior wall materials replaced	
Integrity Notes:		
Effect:	None	

Resource No. 291A (08499BC0-28DD-4D9A-A42C-710CF373DC11.jpeg)

Resource No. 291A (3FE9B7E1-976B-4187-9540-65FC6F677A2E.jpeg)	

Survey Date:	37269	
Resource No:	**291B (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3001 CULVER ST, 32.798679999999997/ -96.7428189999999971	
Function/ Subfunction:	Residential	Garage
Form:	Rectangular	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1925	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Owenwood, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Ethnic Heritage, Community Planning & Development, Local level of significance; Based on primary resource given limited visibility	
Alterations/Additions:		
Integrity Notes:	Limited visibility	
Effect:	None	

Resource No. 291B (3001culver.JPG)	

Survey Date:	12/29/2023	
Resource No:	**292A (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3007 CULVER ST, 32.790633999999997/ -96.742672999999996374	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	Tudor Revival	
Construction Date:	1925 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Owenwood, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Ethnic Heritage, Community Planning & Development, Local level of significance	
Alterations/Additions:		Side carport addition
Integrity Notes:		
Effect:	None	

Resource No. 292A (14805587-819E-4366-913F-00508ED579F5.jpeg)

Resource No. 292A (7B7EA3E4-16F0-468F-8D66-ED5475AF83E1.jpeg)	

Survey Date:	1/13/2023	
Resource No:	**292B (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3007 CULVER ST, 32.790864999999997/ -96.7426059999999952	
Function/ Subfunction:	Residential	Garage
Form:	Rectangular	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1925	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Owenwood, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Ethnic Heritage, Community Planning & Development, Local level of significance; Based on primary resource given limited visibility	
Alterations/Additions:		
Integrity Notes:	Limited visibility	
Effect:	None	

Resource No. 292B (3007culver.JPG)	

Survey Date:	12/29/2023	
Resource No:	**293A (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3011 CULVER ST, 32.790633/ -96.742491999999999373	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	Minimal Traditional	
Construction Date:	1950 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Owenwood, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Ethnic Heritage, Community Planning & Development, Local level of significance	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 293A (FD8DE0A4-65C0-4E7E-B9B9-ECA33B090343.jpeg)

Resource No. 293A (3E8EA005-3F1D-4B72-AC4C-697246E9B5E7.jpeg)	

Survey Date:	1/10/2023	
Resource No:	**293B (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3011 CULVER ST, 32.790858999999998/ -96.742448999999993196	
Function/ Subfunction:	Residential	Garage
Form:	Rectangular	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1950 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Owenwood, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Ethnic Heritage, Community Planning & Development, Local level of significance	
Alterations/Additions:	Doors replaced	Front carport addition
Integrity Notes:		
Effect:	None	

Resource No. 293B (3E8EA005-3F1D-4B72-AC4C-697246E9B5E7.jpeg)

Survey Date:	12/29/2023	
Resource No:	**294A (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3015 CULVER ST, 32.790644/ -96.742326000000006372	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	Craftsman	
Construction Date:	1923 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Owenwood, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Ethnic Heritage, Community Planning & Development, Local level of significance	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 294A (7BE889DF-D75C-4B42-8FF4-1B043E682AA6.jpeg)

Resource No. 294A (7B4BCAC8-B709-4665-B9D8-D1A59AA764B9.jpeg)	

Survey Date:	1/13/2023	
Resource No:	**294B (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3015 CULVER ST, 32.790857000000003/ -96.7422810000000063	
Function/ Subfunction:	Residential	Garage
Form:	Rectangular	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1923	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Owenwood, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Ethnic Heritage, Community Planning & Development, Local level of significance; Based on primary resource given limited visibility	
Alterations/Additions:		
Integrity Notes:	Limited visibility	
Effect:	None	

Resource No. 294B (3015culver.JPG)	

Survey Date:	12/29/2023	
Resource No:	**295A (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3019 CULVER ST, 32.790669000000001/ -96.742169000000004371	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	Craftsman	
Construction Date:	1924 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Owenwood, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Ethnic Heritage, Community Planning & Development, Local level of significance	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 295A (9DCED3BF-BA58-4030-8D43-8E54A0FF1F5B.jpeg)

Resource No. 295A (47436AC1-111E-4E27-9E33-67F5C5096DE7.jpeg)	

Survey Date:	1/10/2023	
Resource No:	**295B (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3019 CULVER ST, 32.790855000000001/ -96.742130000000003195	
Function/ Subfunction:	Residential	Garage
Form:	Rectangular	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1924 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Owenwood, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Ethnic Heritage, Community Planning & Development, Local level of significance	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 295B (47436AC1-111E-4E27-9E33-67F5C5096DE7.jpeg)

Survey Date:	12/29/2023	
Resource No:	**296A (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3023 CULVER ST, 32.790657000000003/ -96.742002999999997369	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	Craftsman	
Construction Date:	1924 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Owenwood, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Ethnic Heritage, Community Planning & Development, Local level of significance	
Alterations/Additions:	All windows replaced, Doors replaced	
Integrity Notes:		
Effect:	None	

Resource No. 296A (ED7A55B8-7844-413F-9387-6472BC2B8767.jpeg)

Resource No. 296A (638A3372-9619-41D3-AE51-F661A4ACB830.jpeg)	

Survey Date:	1/13/2023	
Resource No:	**296B (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3023 CULVER ST, 32.790866999999999/ -96.7420249999999985	
Function/ Subfunction:	Residential	Garage
Form:	Rectangular	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1924 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Owenwood, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Ethnic Heritage, Community Planning & Development, Local level of significance; Based on primary resource given limited visibility	
Alterations/Additions:		
Integrity Notes:	Limited visibility	
Effect:	None	

Resource No. 296B (3023culver.JPG)	

Survey Date:	12/29/2023	
Resource No:	**297A (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3103 CULVER ST, 32.790655999999998/ -96.741848000000005368	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	Craftsman	
Construction Date:	1925 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Owenwood, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Ethnic Heritage, Community Planning & Development, Local level of significance	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 297A (27064A71-9835-4E88-A65F-5942791F221F.jpeg)

Resource No. 297A (3FE4803C-9F35-45C6-BFF9-65A041A786B3.jpeg)	

Survey Date:	1/10/2023	
Resource No:	**297B (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3103 CULVER ST, 32.790849000000001/ -96.741793999999999194	
Function/ Subfunction:	Residential	Garage
Form:	Rectangular	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1925 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Owenwood, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Ethnic Heritage, Community Planning & Development, Local level of significance	
Alterations/Additions:	Doors replaced	
Integrity Notes:		
Effect:	None	

Resource No. 297B (3FE4803C-9F35-45C6-BFF9-65A041A786B3.jpeg)

Survey Date:	12/29/2023	
Resource No:	**298 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3107 CULVER ST, 32.790666999999999/ -96.741680000000002367	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	Craftsman	
Construction Date:	1925 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Owenwood, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Ethnic Heritage, Community Planning & Development, Local level of significance	
Alterations/Additions:	All windows replaced	Side carport addition
Integrity Notes:		
Effect:	None	

Resource No. 298 (D271A08C-3F26-4042-BF6D-007B82F162E9.jpeg)

Resource No. 298 (9578E668-7ADF-440C-B6CB-19CDDA44D276.jpeg)	

Survey Date:	12/29/2023	
Resource No:	**299A (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3111 CULVER ST, 32.790661999999998/ -96.741521000000006366	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	Craftsman	
Construction Date:	1924 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Owenwood, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Ethnic Heritage, Community Planning & Development, Local level of significance	
Alterations/Additions:	All windows replaced	
Integrity Notes:		
Effect:	None	

Resource No. 299A (E9ECC17A-03CA-4471-8E04-DDF64847A3CA.jpeg)

Resource No. 299A (AD185627-D994-4A98-8B1B-F380BCBC93A2.jpeg)	

Survey Date:	1/10/2023	
Resource No:	**299B (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3111 CULVER ST, 32.790852000000001/ -96.741455000000002193	
Function/ Subfunction:	Residential	Garage
Form:	Rectangular	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1924 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Owenwood, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Ethnic Heritage, Community Planning & Development, Local level of significance	
Alterations/Additions:		Side addition
Integrity Notes:	Shipping container at front detached per aerial photos	
Effect:	None	

Resource No. 299B (AD185627-D994-4A98-8B1B-F380BCBC93A2.jpeg)

Survey Date:	12/29/2023	
Resource No:	**300 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3115 CULVER ST, 32.790649000000002/ -96.741352000000006365	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	Craftsman	
Construction Date:	1928 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Owenwood, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Ethnic Heritage, Community Planning & Development, Local level of significance	
Alterations/Additions:	All windows replaced, Some exterior wall materials replaced	Side carport addition
Integrity Notes:		
Effect:	None	

Resource No. 300 (E2B26B19-13EF-42A8-A066-E2595A98DE1E.jpeg)

Resource No. 300 (EC77E55B-4F65-4FDE-AF9C-C108668AB07E.jpeg)	

Survey Date:	12/29/2023	
Resource No:	**301A (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3119 CULVER ST, 32.790666000000002/ -96.741196000000002364	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	Craftsman	
Construction Date:	1925 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Owenwood, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Ethnic Heritage, Community Planning & Development, Local level of significance	
Alterations/Additions:		Side carport addition
Integrity Notes:		
Effect:	None	

Resource No. 301A (F004A73E-B274-4018-9E64-375CBC996BDF.jpeg)

Resource No. 301A (26E48359-2925-45EF-8E72-C802D135A490.jpeg)	

Survey Date:	1/10/2023	
Resource No:	**301B (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3119 CULVER ST, 32.790858/ -96.741119999999995192	
Function/ Subfunction:	Residential	Back house
Form:	Rectangular	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1925 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Owenwood, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Ethnic Heritage, Community Planning & Development, Local level of significance	
Alterations/Additions:	All windows replaced, Doors replaced, Fenestration pattern possibly altered	
Integrity Notes:		
Effect:	None	

Resource No. 301B (26E48359-2925-45EF-8E72-C802D135A490.jpeg)

Survey Date:	12/29/2023	
Resource No:	**302 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3123 CULVER ST, 32.790638000000001/ -96.741015000000004363	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	Tudor Revival	
Construction Date:	1941 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Owenwood, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Ethnic Heritage, Community Planning & Development, Local level of significance	
Alterations/Additions:	All windows replaced	
Integrity Notes:		
Effect:	None	

Resource No. 302 (43CA3946-6C34-461E-9208-ECF86FB9B68D.jpeg)

Resource No. 302 (EE6E3043-81D6-4478-9610-D6C08ED6B28E.jpeg)	

Survey Date:	12/29/2023	
Resource No:	**303A (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3127 CULVER ST, 32.790647999999997/ -96.740819000000002362	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	Tudor Revival	
Construction Date:	1939 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Owenwood, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Ethnic Heritage, Community Planning & Development, Local level of significance	
Alterations/Additions:	Storm Windows added	
Integrity Notes:		
Effect:	None	

Resource No. 303A (4D0BBD51-8062-414B-BEA9-398E0FA34CEB.jpeg)

Resource No. 303A (7F879F54-4D80-4B14-BBA4-05D6AD330207.jpeg)	

Survey Date:	1/13/2023	
Resource No:	**303B (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3127 CULVER ST, 32.790843000000002/ -96.74084815	
Function/ Subfunction:	Residential	Garage
Form:	Rectangular	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1939	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Owenwood, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Ethnic Heritage, Community Planning & Development, Local level of significance; Based on primary resource given limited visibility	
Alterations/Additions:		
Integrity Notes:	Limited visibility	
Effect:	None	

Resource No. 303B (3127culver.JPG)	

Survey Date:	12/29/2023	
Resource No:	**304A (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3203 CULVER ST, 32.790661/ -96.740477999999996361	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	Minimal Traditional	
Construction Date:	1939 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Owenwood, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Ethnic Heritage, Community Planning & Development, Local level of significance	
Alterations/Additions:	All windows replaced, Exterior wall materials replaced	
Integrity Notes:		
Effect:	None	

Resource No. 304A (9D9B7A50-A1FC-405B-8204-52F938A278C0.jpeg)

Resource No. 304A (205C9565-B824-470D-8C3E-03976295339D.jpeg)	

Survey Date:	1/13/2023	
Resource No:	**304B (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3203 CULVER ST, 32.790872/ -96.74041099999999517	
Function/ Subfunction:	Residential	Garage
Form:	Rectangular	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1939	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Owenwood, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Ethnic Heritage, Community Planning & Development, Local level of significance; Based on primary resource given limited visibility	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 304B (3203culver.JPG)	

Survey Date:	12/29/2023	
Resource No:	**305 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3207 CULVER ST, 32.790660000000003/ -96.740312000000003360	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	Tudor Revival	
Construction Date:	1929 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Owenwood, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Ethnic Heritage, Community Planning & Development, Local level of significance	
Alterations/Additions:	Storm Windows added	
Integrity Notes:	Outbuilding temporary and non-historic	
Effect:	None	

Resource No. 305 (EC6DF382-F237-4966-9D3B-664929DCEE01.jpeg)

Resource No. 305 (FA1D17C9-42C3-4436-9312-CAED4B5A5610.jpeg)	

Survey Date:	12/29/2023	
Resource No:	**306A (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3211 CULVER ST, 32.790644999999998/ -96.740145999999996359	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	Craftsman	
Construction Date:	1925 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Owenwood, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Ethnic Heritage, Community Planning & Development, Local level of significance	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 306A (A673D262-F471-45B8-92CD-C1BADFBFB4A8.jpeg)

Resource No. 306A (819BD5CC-0401-4857-8A4F-67831E9D9CAC.jpeg)	

Survey Date:	1/10/2023	
Resource No:	**306B (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3211 CULVER ST, 32.790855000000001/ -96.740105999999997191	
Function/ Subfunction:	Residential	Garage
Form:	Rectangular	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1925 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Owenwood, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Ethnic Heritage, Community Planning & Development, Local level of significance	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 306B (819BD5CC-0401-4857-8A4F-67831E9D9CAC.jpeg)

Survey Date:	12/29/2023	
Resource No:	**307A (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3215 CULVER ST, 32.790657000000003/ -96.739977999999994358	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	Tudor Revival	
Construction Date:	1923 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Owenwood, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Ethnic Heritage, Community Planning & Development, Local level of significance	
Alterations/Additions:	All windows replaced	
Integrity Notes:		
Effect:	None	

Resource No. 307A (DB0B8674-BAB0-4E42-81CB-A003E06358A0.jpeg)

Resource No. 307A (F71E93D9-4D04-47D0-AA1F-85A19D66E23C.jpeg)	

Survey Date:	1/10/2023	
Resource No:	**307B (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3215 CULVER ST, 32.790852999999998/ -96.739998190	
Function/ Subfunction:	Residential	Back house
Form:	Rectangular	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1923 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Owenwood, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Ethnic Heritage, Community Planning & Development, Local level of significance	
Alterations/Additions:	All windows replaced, Exterior wall materials replaced, Doors replaced	Side carport addition
Integrity Notes:		
Effect:	None	

Resource No. 307B (F71E93D9-4D04-47D0-AA1F-85A19D66E23C.jpeg)

Survey Date:	12/29/2023	
Resource No:	**308A (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3219 CULVER ST, 32.790667999999997/ -96.739824999999996357	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	Craftsman	
Construction Date:	1925 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Owenwood, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Ethnic Heritage, Community Planning & Development, Local level of significance	
Alterations/Additions:	All windows replaced	
Integrity Notes:		
Effect:	None	

Resource No. 308A (AE44AD39-28FF-43BB-A945-B4E8C98E2615.jpeg)

Resource No. 308A (DAFB04F4-D7FA-4BBA-A6B1-6118CCE3CFA8.jpeg)	

Survey Date:	1/10/2023	
Resource No:	**308B (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3219 CULVER ST, 32.790857000000003/ -96.739773189	
Function/ Subfunction:	Residential	Back house
Form:	Rectangular	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1925 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Owenwood, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Ethnic Heritage, Community Planning & Development, Local level of significance	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 308B (DAFB04F4-D7FA-4BBA-A6B1-6118CCE3CFA8.jpeg)	

Survey Date:	12/29/2023	
Resource No:	**309A (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3223 CULVER ST, 32.790635999999999/ -96.739661999999996356	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	Minimal Traditional	
Construction Date:	1930 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Owenwood, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Ethnic Heritage, Community Planning & Development, Local level of significance	
Alterations/Additions:	Exterior wall materials replaced	
Integrity Notes:		
Effect:	None	

Resource No. 309A (2F73BA77-CEEE-4C93-8617-6B71A781A135.jpeg)

Resource No. 309A (89B142D2-EAB8-4C30-AD56-CA32D2AF8572.jpeg)	

Survey Date:	1/10/2023	
Resource No:	**309B (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3223 CULVER ST, 32.790790999999999/ -96.739627999999996188	
Function/ Subfunction:	Residential	Garage
Form:	Rectangular	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1930 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Owenwood, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Ethnic Heritage, Community Planning & Development, Local level of significance	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 309B (89B142D2-EAB8-4C30-AD56-CA32D2AF8572.jpeg)

Survey Date:	12/29/2023	
Resource No:	**310A (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3227 CULVER ST, 32.790671000000003/ -96.739509999999996355	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	Craftsman, Minimal Traditional	
Construction Date:	1927 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Owenwood, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Ethnic Heritage, Community Planning & Development, Local level of significance	
Alterations/Additions:	Porch altered	Side carport addition
Integrity Notes:		
Effect:	None	

Resource No. 310A (3A89B18D-C1E3-4307-B05E-5DE6E33179B3.jpeg)

Resource No. 310A (E612DE03-68D8-41AC-9FE3-D9EA32312378.jpeg)	

Survey Date:	1/10/2023	
Resource No:	**310B (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3227 CULVER ST, 32.790829000000002/ -96.739440000000002187	
Function/ Subfunction:	Residential	Garage
Form:	Rectangular	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1927 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Owenwood, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Ethnic Heritage, Community Planning & Development, Local level of significance	
Alterations/Additions:		
Integrity Notes:	Visibility limited	
Effect:	None	

Resource No. 310B (E612DE03-68D8-41AC-9FE3-D9EA32312378.jpeg)

Survey Date:	12/29/2023	
Resource No:	**311 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3231 CULVER ST, 32.790647999999997/ -96.739339000000001354	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1927 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Lacks integrity	
NR District, Status:	Owenwood, Noncontributing	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	All windows replaced, Exterior wall materials replaced	
Integrity Notes:	Shed appears non-historic	
Effect:	None	

Resource No. 311 (51CD66D2-C368-467E-9B21-844B83F46713.jpeg)

Resource No. 311 (C0920684-5633-4544-B078-5395C50D8F4C.jpeg)	

Survey Date:	12/29/2023	
Resource No:	**312A (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3235 CULVER ST, 32.790646000000002/ -96.739174000000006353	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	Tudor Revival	
Construction Date:	1936 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Owenwood, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Ethnic Heritage, Community Planning & Development, Local level of significance	
Alterations/Additions:	Doors replaced	
Integrity Notes:		
Effect:	None	

Resource No. 312A (051D7684-7D10-4662-A471-DE645515699F.jpeg)

Resource No. 312A (51E111B1-086B-41EA-9DA8-5EAF1B9E07DA.jpeg)	

Survey Date:	1/10/2023	
Resource No:	**312B (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3235 CULVER ST, 32.790821999999999/ -96.739110999999994186	
Function/ Subfunction:	Residential	Garage
Form:	Rectangular	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1936 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Owenwood, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Ethnic Heritage, Community Planning & Development, Local level of significance	
Alterations/Additions:		
Integrity Notes:	Visibility limited	
Effect:	None	

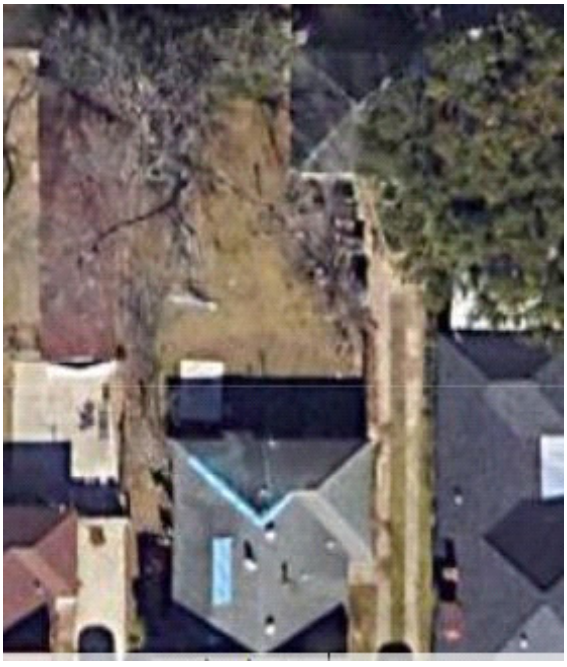
Resource No. 312B (51E111B1-086B-41EA-9DA8-5EAF1B9E07DA.jpeg)

Survey Date:	12/29/2023	
Resource No:	**313A (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3237 CULVER ST, 32.790649999999999/ -96.739018000000002352	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	Tudor Revival	
Construction Date:	1940 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Owenwood, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Ethnic Heritage, Community Planning & Development, Local level of significance	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 313A (E22CDFF8-1BAA-47E6-AC82-18AAE1B3240E.jpeg)

Resource No. 313A (A8449222-6261-4BC6-84AD-C4E781F8FF61.jpeg)	

Survey Date:	1/13/2023	
Resource No:	**313B (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3237 CULVER ST, 32.790849000000001/ -96.73899199999999618	
Function/ Subfunction:	Residential	Garage
Form:	Rectangular	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1940	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Owenwood, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Ethnic Heritage, Community Planning & Development, Local level of significance; Based on primary resource given limited visibility	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 313B (3237culver.JPG)	

Survey Date:	12/29/2023	
Resource No:	**314A (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3243 CULVER ST, 32.790644999999998/ -96.738868999999994351	
Function/ Subfunction:	Residential	Single-family house
Form:	Square plan hipped-roof	
Stylistic Influence(s):	National Folk	
Construction Date:	1930 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Owenwood, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Ethnic Heritage, Community Planning & Development, Local level of significance	
Alterations/Additions:	Exterior wall materials possibly replaced	
Integrity Notes:		
Effect:	None	

Resource No. 314A (B39BAEE7-A5D5-47D7-B482-F089E45B3BD6.jpeg)	

Resource No. 314A (23DBD732-54E3-43F9-A780-E497882636EA.jpeg)	

Survey Date:	1/13/2023	
Resource No:	**314B (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3243 CULVER ST, 32.790847999999997/ -96.73886400000000719	
Function/ Subfunction:	Residential	Garage
Form:	Rectangular	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1930	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Owenwood, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Ethnic Heritage, Community Planning & Development, Local level of significance; Based on primary resource given limited visibility	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 314B (3243culver.JPG)	

Survey Date:	1/13/2023	
Resource No:	**314C (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3243 CULVER ST, 32.790846999999999/ -96.73879399999999916	
Function/ Subfunction:	Residential	Garage
Form:	Rectangular	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1930	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Owenwood, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Ethnic Heritage, Community Planning & Development, Local level of significance; Based on context given limited visibility	
Alterations/Additions:		
Integrity Notes:	Visibility limited	
Effect:	None	

Resource No. 314C (3243 culver.jpg)	

Survey Date:	12/29/2023	
Resource No:	**315A (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3247 CULVER ST, 32.790635000000002/ -96.738692350	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	Colonial Revival	
Construction Date:	1927 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Owenwood, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Ethnic Heritage, Community Planning & Development, Local level of significance	
Alterations/Additions:	All windows replaced	
Integrity Notes:		
Effect:	None	

Resource No. 315A (2B3CDE5B-6E44-4895-A44D-C62FAC3ED4F9.jpeg)

Resource No. 315A (A43B0F84-9743-4179-8FE1-C8B95EA1D044.jpeg)	

Survey Date:	1/10/2023	
Resource No:	**315B (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3247 CULVER ST, 32.790818000000002/ -96.738641999999999185	
Function/ Subfunction:	Residential	Garage
Form:	Rectangular	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1927 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Lacks integrity	
NR District, Status:	Owenwood, Noncontributing	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		Front addition
Integrity Notes:	Limited visibility	
Effect:	None	

Resource No. 315B (A43B0F84-9743-4179-8FE1-C8B95EA1D044.jpeg)

Survey Date:	12/29/2023	
Resource No:	**316 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3251 CULVER ST, 32.790669000000001/ -96.738533000000004349	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	Tudor Revival	
Construction Date:	1929 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Owenwood, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Ethnic Heritage, Community Planning & Development, Local level of significance	
Alterations/Additions:	All windows replaced, Doors replaced	
Integrity Notes:		
Effect:	None	

Resource No. 316 (E768E4BF-A96B-4EF7-B5E6-9EDC131002A7.jpeg)

Resource No. 316 (769CC17C-CA55-4478-B307-C20D1E434E1E.jpeg)	

Survey Date:	12/29/2023	
Resource No:	**317 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3255 CULVER ST, 32.790657000000003/ -96.738363000000007348	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	Craftsman	
Construction Date:	1927 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Owenwood, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Ethnic Heritage, Community Planning & Development, Local level of significance	
Alterations/Additions:	All windows replaced	
Integrity Notes:		
Effect:	None	

Resource No. 317 (150EF870-624C-4A15-B1D6-649AA07D8069.jpeg)

Resource No. 317 (AE9D9CD7-8E8F-494F-A5E8-B7F900B2FA66.jpeg)	

Survey Date:	12/29/2023	
Resource No:	**318A (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3301 CULVER ST, 32.790677000000002/ -96.738153999999994347	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	Minimal Traditional	
Construction Date:	1955 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Owenwood, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Ethnic Heritage, Community Planning & Development, Local level of significance	
Alterations/Additions:	All windows replaced, Doors replaced	
Integrity Notes:		
Effect:	None	

Resource No. 318A (BB427D5D-4E88-482D-8337-2EE1240D1591.jpeg)

Resource No. 318A (BD67799A-81F1-4986-88CF-7BCA22A6745D.jpeg)	

Survey Date:	1/10/2023	
Resource No:	**318B (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3301 CULVER ST, 32.790852999999998/ -96.738209999999995184	
Function/ Subfunction:	Residential	Garage
Form:	Rectangular	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1955	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Owenwood, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Ethnic Heritage, Community Planning & Development, Local level of significance	
Alterations/Additions:		
Integrity Notes:	Limited visibility	
Effect:	None	

Resource No. 318B (BD67799A-81F1-4986-88CF-7BCA22A6745D.jpeg)

Survey Date:	12/29/2023	
Resource No:	**319A (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3306 CULVER ST, 32.790196000000002/ -96.737981000000005342	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1938 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Owenwood, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Ethnic Heritage, Community Planning & Development, Local level of significance	
Alterations/Additions:	All windows replaced, Some exterior wall materials replaced	Side addition
Integrity Notes:	Outbuilding appears non-historic	
Effect:	None	

Resource No. 319A (FCE2389B-EB70-470F-989B-EB61E469EB34.jpeg)

Resource No. 319A (0BD2CCAE-E2A4-4E10-BE75-7F56B18FFD10.jpeg)	

Survey Date:	1/13/2023	
Resource No:	**319B (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3306 CULVER ST, 32.790038000000003/ -96.7379320000000018	
Function/ Subfunction:	Residential	Garage
Form:	Rectangular	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1938	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Owenwood, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Ethnic Heritage, Community Planning & Development, Local level of significance; Based on primary resource given limited visibility	
Alterations/Additions:		
Integrity Notes:	Limited visibility	
Effect:	None	

Resource No. 319B (3306culver.JPG)	

Survey Date:	12/29/2022	
Resource No:	**320A (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3307 CULVER ST A, 32.790643000000003/ -96.737979999999993346	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	Minimal Traditional	
Construction Date:	1937 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Owenwood, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Ethnic Heritage, Community Planning & Development, Local level of significance	
Alterations/Additions:	All windows replaced, Exterior wall materials replaced	
Integrity Notes:		
Effect:	None	

Resource No. 320A (55888258-B93D-4604-8E12-10F216A156F6.jpeg)

Resource No. 320A (82EEE8E2-A5BB-45C4-BBEC-D6B1DEB2D171.jpeg)	

Survey Date:	1/10/2023	
Resource No:	**320B (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3307 CULVER ST B, 32.790773999999999/ -96.737921183	
Function/ Subfunction:	Residential	Garage
Form:	Rectangular	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1937 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Owenwood, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Ethnic Heritage, Community Planning & Development, Local level of significance	
Alterations/Additions:		
Integrity Notes:	Visibility limited	
Effect:	None	

Resource No. 320B (82EEE8E2-A5BB-45C4-BBEC-D6B1DEB2D171.jpeg)

Survey Date:	12/29/2022	
Resource No:	**321A (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3310 CULVER ST A, 32.790185000000001/ -96.737797343	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	Minimal Traditional	
Construction Date:	1938 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Owenwood, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Ethnic Heritage, Community Planning & Development, Local level of significance	
Alterations/Additions:	All windows replaced, Exterior wall materials replaced	
Integrity Notes:		
Effect:	None	

Resource No. 321A (DDF72F9D-D443-41E7-9881-7F27F43C7FE4.jpeg)

Resource No. 321A (400683E1-3FEC-4989-A23A-BB8DC2F08172.jpeg)	

Survey Date:	1/13/2023	
Resource No:	**321B (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3310 CULVER ST B, 32.789997/ -96.73779100000000111	
Function/ Subfunction:	Residential	Garage
Form:	Rectangular	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1938 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Owenwood, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Ethnic Heritage, Community Planning & Development, Local level of significance; Based on primary resource given limited visibility	
Alterations/Additions:		
Integrity Notes:	Limited visibility	
Effect:	None	

Resource No. 321B (3310culver.JPG)	

Survey Date:	12/29/2022	
Resource No:	**322A (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3315 CULVER ST A, 32.790624999999999/ -96.737611000000001345	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1948 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Owenwood, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Ethnic Heritage, Community Planning & Development, Local level of significance	
Alterations/Additions:	All windows replaced, Exterior wall materials replaced	
Integrity Notes:		
Effect:	None	

Resource No. 322A (C5A4C880-CF80-4B64-A2BB-723B57913979.jpeg)

Resource No. 322A (B01A9A7D-3EB7-422E-89F5-34FDF251DFAF.jpeg)	

Survey Date:	1/10/2023	
Resource No:	**322B (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3315 CULVER ST B, 32.790745999999999/ -96.737674999999996182	
Function/ Subfunction:	Residential	Garage
Form:	Rectangular	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1948 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Owenwood, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Ethnic Heritage, Community Planning & Development, Local level of significance	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 322B (B01A9A7D-3EB7-422E-89F5-34FDF251DFAF.jpeg)

Survey Date:	12/29/2022	
Resource No:	**323 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3314 CULVER ST, 32.790135999999997/ -96.737600999999998344	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	Minimal Traditional	
Construction Date:	1940 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Owenwood, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Ethnic Heritage, Community Planning & Development, Local level of significance	
Alterations/Additions:	Some windows replaced	
Integrity Notes:		
Effect:	None	

Resource No. 323 (9C93A98B-F25A-413B-A12C-7CD3FE2B6A10.jpeg)

Resource No. 323 (9651564C-F434-4E99-B68C-8FB6A104B6F6.jpeg)	

Survey Date:	12/29/2022	
Resource No:	**324 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3402 CULVER ST, 32.790176000000002/ -96.737187000000006341	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1938 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Lacks integrity	
NR District, Status:	Owenwood, Noncontributing	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	All windows replaced, Exterior wall materials replaced, Porch altered	
Integrity Notes:		
Effect:	None	

Resource No. 324 (BEC5AB46-536B-44A2-8747-60522798C292.jpeg)

Resource No. 324 (AA585D7B-CFFB-4CAE-8C03-81AA3BE3D613.jpeg)	

Survey Date:	12/29/2022	
Resource No:	**325 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3403 CULVER ST, 32.790635000000002/ -96.737205000000003338	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	Minimal Traditional	
Construction Date:	1935 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Owenwood, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Ethnic Heritage, Community Planning & Development, Local level of significance	
Alterations/Additions:	All windows replaced, Exterior wall materials replaced, Doors replaced	
Integrity Notes:		
Effect:	None	

Resource No. 325 (1B819CD6-BC52-400F-A714-158A13AC8583.jpeg)

Resource No. 325 (21BD9BF9-5D62-45B8-BBC5-9673B6E79892.jpeg)	

Survey Date:	12/29/2022	
Resource No:	**326 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3408 CULVER ST, 32.790205999999998/ -96.736980000000003340	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1939 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Owenwood, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Ethnic Heritage, Community Planning & Development, Local level of significance	
Alterations/Additions:	All windows replaced, Exterior wall materials replaced, Doors replaced	
Integrity Notes:		
Effect:	None	

Resource No. 326 (A04DAB1F-5916-4DBE-A1ED-55D9C9479620.jpeg)	

Resource No. 326 (48F662FB-31B4-463C-AFD9-E40B199EF5A5.jpeg)	

Survey Date:	12/29/2022	
Resource No:	**327 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3409 CULVER ST, 32.790609000000003/ -96.737007000000006337	
Function/ Subfunction:	Residential	Single-family house
Form:	Ranch	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1940 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Lacks integrity	
NR District, Status:	Owenwood, Noncontributing	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	All windows replaced, Exterior wall materials replaced, Doors replaced, Porch altered	Side carport addition, Dormers added
Integrity Notes:		
Effect:	None	

Resource No. 327 (83472F44-A81F-4765-9536-60A254CA155E.jpeg)

Resource No. 327 (BFAD8A29-8175-4E18-848A-B1C2FF0D329A.jpeg)	

Survey Date:	12/29/2022	
Resource No:	**328A (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3412 CULVER ST A, 32.790207000000002/ -96.736761999999999339	
Function/ Subfunction:	Residential	Duplex house
Form:	Hall-and-parlor	
Stylistic Influence(s):	National Folk	
Construction Date:	1939 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Owenwood, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Ethnic Heritage, Community Planning & Development, Local level of significance	
Alterations/Additions:	All windows replaced, Exterior wall materials replaced, Doors replaced	Side addition
Integrity Notes:		
Effect:	None	

Resource No. 328A (9F0649F4-DFAA-49E2-883F-DA9DB88DD0BC.jpeg)

Resource No. 328A (768ACBDC-A831-4980-AFBA-8109E571614B.jpeg)	

Survey Date:	1/13/2023	
Resource No:	**328B (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3412 CULVER ST B, 32.790002000000001/ -96.73672399999999514	
Function/ Subfunction:	Residential	Garage
Form:	Rectangular	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1939	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Owenwood, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Ethnic Heritage, Community Planning & Development, Local level of significance; Based on primary resource given limited visibility	
Alterations/Additions:		
Integrity Notes:	Limited visibility	
Effect:	None	

Resource No. 328B (3412culver.JPG)	

Survey Date:	12/29/2022	
Resource No:	**329A (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3413 CULVER ST A, 32.790626000000003/ -96.736789000000002336	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	Minimal Traditional	
Construction Date:	1935 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Owenwood, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Ethnic Heritage, Community Planning & Development, Local level of significance	
Alterations/Additions:	Some windows replaced, Exterior wall materials replaced, Fenestration pattern altered, Doors replaced	
Integrity Notes:		
Effect:	None	

Resource No. 329A (555E9F40-9AA1-41C6-8571-79C03D523C8C.jpeg)	
Resource No. 329A (263009F8-130C-419F-8C3F-D8155BCDAE79.jpeg)	

Survey Date:	1/10/2023	
Resource No:	**329B (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3413 CULVER ST B, 32.790767000000002/ -96.736726000000004181	
Function/ Subfunction:	Residential	Garage
Form:	Rectangular	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1935	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Owenwood, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Ethnic Heritage, Community Planning & Development, Local level of significance	
Alterations/Additions:		
Integrity Notes:	Visibility limited	
Effect:	None	

Resource No. 329B (263009F8-130C-419F-8C3F-D8155BCDAE79.jpeg)

Survey Date:	12/29/2022	
Resource No:	**330A (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3419 CULVER ST A, 32.790624000000001/ -96.736562000000006335	
Function/ Subfunction:	Residential	Single-family house
Form:	L-plan	
Stylistic Influence(s):	National Folk	
Construction Date:	1940 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Owenwood, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Ethnic Heritage, Community Planning & Development, Local level of significance	
Alterations/Additions:	All windows replaced, Exterior wall materials replaced, Doors replaced	
Integrity Notes:		
Effect:	None	

Resource No. 330A (DCD6FAE2-ED41-43B5-99FC-6E998812F966.jpeg)

Resource No. 330A (A1A2DF4C-0BD2-4165-92D8-4E7690C60153.jpeg)	

Survey Date:	1/10/2023	
Resource No:	**330B (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3419 CULVER ST B, 32.790771999999997/ -96.736641000000006180	
Function/ Subfunction:	Residential	Garage
Form:	Rectangular	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1940 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Owenwood, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Ethnic Heritage, Community Planning & Development, Local level of significance	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 330B (A1A2DF4C-0BD2-4165-92D8-4E7690C60153.jpeg)

Survey Date:	12/29/2022	
Resource No:	**331A (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3423 CULVER ST A, 32.790618000000002/ -96.736371000000005334	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1945 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Owenwood, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Ethnic Heritage, Community Planning & Development, Local level of significance	
Alterations/Additions:	All windows replaced	
Integrity Notes:	Limited visibility	
Effect:	None	

Resource No. 331A (9C6748ED-6006-4288-8998-8110E14E4379.jpeg)

Resource No. 331A (41B5B258-022C-4D99-820D-C35FD56AF979.jpeg)	

Survey Date:	1/13/2023	
Resource No:	**331B (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3423 CULVER ST B, 32.790778000000003/ -96.73644400000000631	
Function/ Subfunction:	Residential	Garage
Form:	Rectangular	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1945	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Owenwood, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Ethnic Heritage, Community Planning & Development, Local level of significance; Based on primary resource given limited visibility	
Alterations/Additions:		
Integrity Notes:	Limited visibility	
Effect:	None	

Resource No. 331B (3423culver.JPG)	

Survey Date:	12/29/2022	
Resource No:	**332 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3429 CULVER ST, 32.790613/ -96.736186000000004333	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	Tudor Revival	
Construction Date:	1940 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Owenwood, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Ethnic Heritage, Community Planning & Development, Local level of significance	
Alterations/Additions:	Storm Windows added, Garage door replaced	
Integrity Notes:		
Effect:	None	

Resource No. 332 (396D73F8-9C23-402A-AAF3-9251D15600D2.jpeg)

Resource No. 332 (63ACA0AB-CED7-4847-A194-0E115DBC0A21.jpeg)	

Survey Date:	12/29/2022	
Resource No:	**333 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3433 CULVER ST, 32.790624000000001/ -96.735990000000001332	
Function/ Subfunction:	Residential	Single-family house
Form:	Ranch	
Stylistic Influence(s):	Minimal Traditional	
Construction Date:	1940 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Lacks integrity	
NR District, Status:	Owenwood, Noncontributing	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	All windows replaced, Exterior wall materials replaced	
Integrity Notes:		
Effect:	None	

Resource No. 333 (AF82E543-96FB-4214-922D-529F87DEDD0D.jpeg)

Resource No. 333 (9770A86E-871E-4D9D-A2C3-262E5A3EEEF7.jpeg)	

Survey Date:	12/29/2022	
Resource No:	**334 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3439 CULVER ST, 32.790658999999998/ -96.735743999999997331	
Function/ Subfunction:	Residential	Single-family house
Form:	Ranch	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1941 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Lacks integrity	
NR District, Status:	Owenwood, Noncontributing	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	All windows replaced, Exterior wall materials replaced, Porch altered, Fenestration pattern altered	
Integrity Notes:		
Effect:	None	

Resource No. 334 (617B5B40-F3D1-4D9C-8F2C-02247343A0C9.jpeg)

Resource No. 334 (363CDED6-E840-441A-8F67-5949FE973BCE.jpeg)	

Survey Date:	12/29/2022	
Resource No:	**335A (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3443 CULVER ST A, 32.790652000000001/ -96.735570999999993330	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	Minimal Traditional	
Construction Date:	1941 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Lacks integrity	
NR District, Status:	Owenwood, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Ethnic Heritage, Community Planning & Development, Local level of significance	
Alterations/Additions:	All windows replaced, Doors replaced	
Integrity Notes:		
Effect:	None	

Resource No. 335A (CCDD50F4-368C-4CF7-9657-A560877B5B5E.jpeg)

Resource No. 335A (F2A0A9BF-7E8D-455B-8FFD-0077D3868ADD.jpeg)	

Survey Date:	1/13/2023	
Resource No:	**335B (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3443 CULVER ST B, 32.790852000000001/ -96.73554699999999732	
Function/ Subfunction:	Residential	Garage
Form:	Rectangular	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1941	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Owenwood, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Ethnic Heritage, Community Planning & Development, Local level of significance; Based on primary resource given limited visibility	
Alterations/Additions:		
Integrity Notes:	Limited visibility	
Effect:	None	

Resource No. 335B (3443culver.JPG)	

Survey Date:	12/29/2022	
Resource No:	**336A (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3503 CULVER ST A, 32.790604000000002/ -96.735158999999996329	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	Minimal Traditional	
Construction Date:	1940 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Owenwood, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Ethnic Heritage, Community Planning & Development, Local level of significance	
Alterations/Additions:	All windows replaced, Exterior wall materials replaced	
Integrity Notes:		
Effect:	None	

Resource No. 336A (F25B6494-E273-472D-BF98-9829AB52E70C.jpeg)	

Resource No. 336A (4CA7CD51-B50C-4CB9-94AF-68CC0CB6C73E.jpeg)	

Survey Date:	1/10/2023	
Resource No:	**336B (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3503 CULVER ST B, 32.790784000000002/ -96.735170999999994179	
Function/ Subfunction:	Residential	Garage
Form:	Rectangular	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1940 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Lacks integrity	
NR District, Status:	Owenwood, Noncontributing	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		Side addition
Integrity Notes:		
Effect:	None	

Resource No. 336B (4CA7CD51-B50C-4CB9-94AF-68CC0CB6C73E.jpeg)

Survey Date:	12/29/2022	
Resource No:	**337A (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3507 CULVER ST A, 32.790644/ -96.734949999999998328	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	Minimal Traditional	
Construction Date:	1941 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Owenwood, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Ethnic Heritage, Community Planning & Development, Local level of significance	
Alterations/Additions:	All windows replaced, Exterior wall materials replaced, Doors replaced	
Integrity Notes:		
Effect:	None	

Resource No. 337A (1F06BB4F-809C-4215-9917-AE420D970CB9.jpeg)

Resource No. 337A (39AB894F-9291-4CDF-9F4D-B02B0C1626F8.jpeg)	

Survey Date:	1/10/2023	
Resource No:	**337B (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3507 CULVER ST B, 32.790770000000002/ -96.735011178	
Function/ Subfunction:	Residential	Garage, Carport shed
Form:	Rectangular	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1941	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Owenwood, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Ethnic Heritage, Community Planning & Development, Local level of significance	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 337B (39AB894F-9291-4CDF-9F4D-B02B0C1626F8.jpeg)

Survey Date:	12/29/2022	
Resource No:	**338 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3511 CULVER ST, 32.790619999999997/ -96.734752327	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	Minimal Traditional	
Construction Date:	1940 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Owenwood, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Ethnic Heritage, Community Planning & Development, Local level of significance	
Alterations/Additions:	All windows replaced, Exterior wall materials replaced, Doors replaced	Side carport addition, Rear/side garage addition
Integrity Notes:	Alterations within period of significance	
Effect:	None	

Resource No. 338 (C85778CD-C1F7-417D-B589-157C69A7B97A.jpeg)	

Resource No. 338 (DCCD510B-14BC-4ED3-8755-14F680FA6B06.jpeg)	

Survey Date:	12/29/2022	
Resource No:	**339 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3519 CULVER ST, 32.790610999999998/ -96.734576000000004326	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	Minimal Traditional	
Construction Date:	1940 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Owenwood, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Ethnic Heritage, Community Planning & Development, Local level of significance	
Alterations/Additions:	All windows replaced, Exterior wall materials replaced, Doors replaced	
Integrity Notes:		
Effect:	None	

Resource No. 339 (66EF6DB4-C7D7-431E-9922-76E99B1EB243.jpeg)	

Resource No. 339 (9A10D64A-17D7-4D64-A2A3-9326DCC91416.jpeg)	

Survey Date:	1/10/2023	
Resource No:	**340B (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3523 CULVER ST, 32.790725000000002/ -96.734286999999995177	
Function/ Subfunction:	Residential	Back house
Form:	Rectangular	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1940 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Owenwood, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Ethnic Heritage, Community Planning & Development, Local level of significance	
Alterations/Additions:		
Integrity Notes:	Visibility limited	
Effect:	None	

Resource No. 340B (E3465DE5-A5DE-4F3E-BFE9-0EB60C3AEC28.jpeg)

Survey Date:	12/29/2022	
Resource No:	**340A (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3523 CULVER ST A, 32.790599/ -96.734364999999997325	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1940 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Owenwood, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Ethnic Heritage, Community Planning & Development, Local level of significance	
Alterations/Additions:	All windows replaced, Exterior wall materials replaced, Doors replaced	
Integrity Notes:		
Effect:	None	

Resource No. 340A (91DB7627-30F4-492A-9FB8-87B488764EF9.jpeg)

Resource No. 340A (0EFA63F6-6CEA-4163-9B70-235C58DD79B4.jpeg)	

Survey Date:	12/29/2022	
Resource No:	**341 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3527 CULVER ST, 32.790612000000003/ -96.734139999999996324	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1950 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Lacks integrity	
NR District, Status:	Owenwood, Noncontributing	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	All windows replaced, Exterior wall materials replaced, Porch altered, Doors replaced	Front carport addition
Integrity Notes:		
Effect:	None	

Resource No. 341 (12712C8B-1888-4897-AD99-264CF8E4CB7D.jpeg)

Resource No. 341 (906CB352-13E5-4F76-8DDE-C9B54A08EF41.jpeg)	

Survey Date:	12/29/2022	
Resource No:	**342A (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3535 CULVER ST A, 32.790609000000003/ -96.733958000000001323	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	Minimal Traditional	
Construction Date:	1940 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Owenwood, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Ethnic Heritage, Community Planning & Development, Local level of significance	
Alterations/Additions:	All windows replaced, Exterior wall materials replaced	Side carport addition
Integrity Notes:		
Effect:	None	

Resource No. 342A (BFD30C85-8671-4992-9E0E-21416D5AA966.jpeg)

Resource No. 342A (40DB2031-13A0-43F5-B9E7-5141886F897C.jpeg)	

Survey Date:	1/10/2023	
Resource No:	**342B (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3535 CULVER ST B, 32.790804999999999/ -96.733885999999998176	
Function/ Subfunction:	Residential	Garage
Form:	Rectangular	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1940 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Owenwood, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Ethnic Heritage, Community Planning & Development, Local level of significance	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 342B (40DB2031-13A0-43F5-B9E7-5141886F897C.jpeg)

Survey Date:	12/29/2022	
Resource No:	**343A (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3539 CULVER ST A, 32.790622999999997/ -96.733701999999994322	
Function/ Subfunction:	Residential	Single-family house
Form:	Ranch	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1946 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Owenwood, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Ethnic Heritage, Community Planning & Development, Local level of significance	
Alterations/Additions:	All windows replaced, Garage enclosed	
Integrity Notes:		
Effect:	None	

Resource No. 343A (AE213674-5324-4BE9-978E-3DDD780A4DBE.jpeg)

Resource No. 343A (9BF6C7A3-2D37-411A-8BAF-9C562B51DA99.jpeg)	

Survey Date:	1/13/2023	
Resource No:	**343B (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3539 CULVER ST B, 32.790810999999998/ -96.73377600000000633	
Function/ Subfunction:	Residential	Garage
Form:	Rectangular	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1946	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Within district eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	Owenwood, Contributing	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Ethnic Heritage, Community Planning & Development, Local level of significance; Based on primary resource given limited visibility	
Alterations/Additions:		
Integrity Notes:	Limited visibility	
Effect:	None	

Resource No. 343B (3539 Culver B.jpg)	

Survey Date:	12/29/2022	
Resource No:	**344A (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3828 SAMUELL BLVD, 32.791739/ -96.727969000000002432	
Function/ Subfunction:	Commercial	Commercial
Form:	See HNTB survey form	
Stylistic Influence(s):	See HNTB survey form	
Construction Date:	1961 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	I-30 East Corridor Project (HNTB, Sept. 2022, Resource #86b) (Not eligible)	
NRHP Eligibility:	Not eligible for NRHP	
Justification:	See HNTB survey form	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		
Integrity Notes:	See HNTB survey form	
Effect:	None	

Resource No. 344A	***See photos on following pages.***

Survey Date:	01/26/2022
Resource No:	344A (HHM) [86a (HNTB)]
Project Location:	Dallas
Project Name and CSJ:	I-30 East Corridor Project; 0009-11-252
Address, Lat/Long:	3828 Samuell Boulevard; 32.791783, -96.728013
Function/Sub-function:	Commercial
Construction Date:	1962
NRHP Eligibility:	Not Eligible
Integrity/Comments:	Resource 344 is comprised of four separate buildings and a network of pole sheds and metal shipping containers, most visible only on aerials because the property is protected by privacy fencing. Though altered, all three buildings are of historic age and were constructed by the time of a 1968 aerial photograph. Resource 344A is a single-story, front-gabled building with a corrugated metal roof and brick exterior. The only visible elevation is the façade, which features a single entry door, a fixed-glass single light window, and a service bay covered by a non-historic rolling metal door. Metal privacy fencing and three metal shipping containers are flush with the façade and obscure the east and west elevations. Aerial photography shows that Resource 344A more than doubled in size between 1989 and 1995 due to a large rear addition. The addition was not visible during survey. Resource 344A retains integrity in the aspect of location only, because it has not been moved. Resource 344A no longer retains integrity of setting because the immediate surroundings have been significantly impacted by the installation of numerous metal shipping containers that alter the historic-age pathways and crowd the three original buildings. The non-historic rear addition and the construction of non-historic canopies throughout the resource have compromised Resource 344A's integrity of materials, design, and workmanship. Resource 344A is identifiable as an automotive service building, but due to the intrusion of the metal shipping containers as well as non-historic alterations to the few visible portions of the historic-age building, it does not retain integrity in the aspects of feeling or association as a mid-20th century resource. Therefore, Resource 344A is recommended not eligible for the NRHP under Criterion C. Resource 344A does not appear to have an association with significant historical events or individuals important to development of Dallas, Texas. Therefore, Resource 344 is recommended not eligible for the NRHP under Criteria A or B.

HNTB Draft HRSR September 2022

Resource 344A (HHM) [86a (HNTB)]: view of façade, facing southwest

HNTB Draft H

Survey Date:	12/29/2022	
Resource No:	**344B (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3828 SAMUELL BLVD, 32.791893999999999/ -96.727782000000005433	
Function/ Subfunction:	Commercial	Commercial
Form:	See HNTB survey form	
Stylistic Influence(s):	See HNTB survey form	
Construction Date:	1961 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	I-30 East Corridor Project (HNTB, Sept. 2022, Resource #86a) (Not eligible)	
NRHP Eligibility:	Not eligible for NRHP	
Justification:	See HNTB survey form	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		
Integrity Notes:	See HNTB survey form	
Effect:	None	

Resource No. 344B	***See photos on following pages.***

Survey Date:	01/26/2022
Resource No:	344B (HHM) [86b (HNTB)]
Project Location:	Dallas
Project Name and CSJ:	I-30 East Corridor Project; 0009-11-252
Address, Lat/Long:	3828 Samuell Boulevard; 32.791783, -96.728013
Function/Sub-function:	Commercial
Construction Date:	1962
NRHP Eligibility:	Not Eligible
Integrity/Comments:	Resource 344 is comprised of four separate buildings and a network of pole sheds and metal shipping containers, most visible only on aerials because the property is protected by privacy fencing. Though altered, all three buildings are of historic age and were constructed by the time of a 1968 aerial photograph. Resource 344B is a one-story, flat-roofed building constructed of brick and concrete block. The façade features a non-historic metal and glass entry door beneath a non-historic fabric canopy, a non-historic tripartite metal and plate glass window to the west, and a single plate glass window to the east. The east window is sheltered beneath a non-historic metal canopy. A small porch is present on the west elevation, but the door that it once sheltered has been enclosed with concrete block. Resource 344B retains integrity in the aspect of location only, because it has not been moved. Resource 344B no longer retains integrity of setting because the immediate surroundings have been significantly impacted by the installation of numerous metal shipping containers that alter the historic-age pathways and crowd the three original buildings. The replacement windows and door as well as the enclosure of a door on 344B, and the construction of non-historic canopies throughout the resource have compromised Resource 344B's integrity of materials, design, and workmanship. Resource 344B is identifiable as an automotive service building, but due to the intrusion of the metal shipping containers as well as non-historic alterations to the few visible portions of the historic-age buildings, it does not retain integrity in the aspects of feeling or association as a mid-20th century resource. Therefore, Resource 344B is recommended not eligible for the NRHP under Criterion C. Resource 344 does not appear to have an association with significant historical events or individuals important to development of Dallas, Texas. Therefore, Resource 344 is recommended not eligible for the NRHP under Criteria A or B.

HNTB Draft - THC September 2022

Resource 344B (HHM) [86b (HNTB)]: view of façade, facing southeast

HNTB Draft

Resource 344B (HHM) [86b (HNTB)]: view of enclosed door opening on west elevation, facing east

HNTB Draft

Survey Date:	12/29/2022	
Resource No:	**344C (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3828 SAMUELL BLVD, 32.791449/ -96.727680000000007431	
Function/ Subfunction:	Commercial	Commercial
Form:	See HNTB survey form	
Stylistic Influence(s):	See HNTB survey form	
Construction Date:	1961 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	I-30 East Corridor Project (HNTB, Sept. 2022, Resource #86c) (Not eligible)	
NRHP Eligibility:	Not eligible for NRHP	
Justification:	See HNTB survey form	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		
Integrity Notes:	See HNTB survey form	
Effect:	None	

Resource No. 344C	***See photos on following pages.***

Survey Date:	01/26/2022
Resource No:	344C (HHM) [86c (HNTB)]
Project Location:	Dallas
Project Name and CSJ:	I-30 East Corridor Project; 0009-11-252
Address, Lat/Long:	3828 Samuell Boulevard; 32.791783, -96.728013
Function/Sub-function:	Commercial
Construction Date:	1962
NRHP Eligibility:	Not Eligible
Integrity/Comments:	Resource 344 is comprised of four separate buildings and a network of pole sheds and metal shipping containers, most visible only on aerials because the property is protected by privacy fencing. Though altered, all three buildings are of historic age and were constructed by the time of a 1968 aerial photograph. Resource 344C was located behind a gate and was not closely observed during survey. It appears to be constructed of brick and concrete block and features two service bays, a fixed light window, and a metal slab entry door. The age of these components could not be determined. Resource 344C retains integrity in the aspect of location only, because it has not been moved. Resource 344C no longer retains integrity of setting because the immediate surroundings have been significantly impacted by the installation of numerous metal shipping containers that alter the historic-age pathways and crowd the three original buildings. Integrity of materials, design, and workmanship could not be assessed due to limited access to the resource. Resource 344C is identifiable as an automotive service building, but due to the intrusion of the metal shipping containers as well as non-historic alterations to the few visible portions of the historic-age buildings, it does not retain integrity in the aspects of feeling or association as a mid-20th century resource. Therefore, Resource 344C is recommended not eligible for the NRHP under Criterion C. Resource 344C does not appear to have an association with significant historical events or individuals important to development of Dallas, Texas. Therefore, Resource 344C is recommended not eligible for the NRHP under Criteria A or B.

HNTB Draft HRSR September 2022

Resource 344C (HHM) [86c (HNTB)]: view of façade, facing south

HNTB Draft

Survey Date:	1/13/2023	
Resource No:	**344D (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3828 SAMUELL BLVD D, 32.791249999999998/ -96.72796426	
Function/ Subfunction:	Commercial	Shed
Form:	Rectangular	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1961 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 344D (3828 Samuell D.jpg)

Survey Date:	1/12/2023	
Resource No:	**345C (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3909 SAMUELL BLVD, 32.793368000000001/ -96.725795000000005149	
Function/ Subfunction:	Commercial	Auto Sales/Service
Form:	Compound plan	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1964 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 345C (08CA92C5-0FEA-4C7C-922D-273F5838058D.jpeg)

Resource No. 345C (6A40579E-7512-44DD-A364-CCCB3C33CA56.jpeg)	

Survey Date:	12/29/2022
Resource No:	**345A (HHM)**
Project Location:	Dallas County, Dallas District
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251
Address, Lat/Long:	3909 SAMUELL BLVD A, 32.793472999999999/ -96.725328000000005430
Function/ Subfunction:	Commercial
Form:	
Stylistic Influence(s):	
Construction Date:	1964 (Appraisal district)
Occupants/ History:	
Prior Designation:	
Prior Documentation:	I-30 East Corridor Project (HNTB, Sept. 2022, Resource #50) (Not Individually Eligible)
NRHP Eligibility:	Not eligible for NRHP
Justification:	Lacks significance
NR District, Status:	N/A, N/A
Criteria, Notes:	N/A, N/A, N/A
Alterations/Additions:	
Integrity Notes:	
Effect:	None

Resource No. 345A	***See photos under Resource 345C on following pages.***

Survey Date:	1/12/2023
Resource No:	**345B (HHM)**
Project Location:	Dallas County, Dallas District
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251
Address, Lat/Long:	3909 SAMUELL BLVD B, 32.793340999999998/ -96.725436000000002150
Function/ Subfunction:	
Form:	
Stylistic Influence(s):	
Construction Date:	1964
Occupants/ History:	
Prior Designation:	
Prior Documentation:	I-30 East Corridor Project (HNTB, Sept. 2022, Resource #50) (Not Individually Eligible)
NRHP Eligibility:	Not eligible for NRHP
Justification:	Lacks significance
NR District, Status:	N/A, N/A
Criteria, Notes:	N/A, N/A, N/A
Alterations/Additions:	
Integrity Notes:	
Effect:	None

Resource No. 345B	***See photos under Resource 345C on following pages.***

Survey Date:	01/25/2022
Resource No:	345C (HHM) [50 (HNTB)]
Project Location:	Dallas
Project Name and CSJ:	I-30 East Corridor Project; 0009-11-252
Address, Lat/Long:	3909 Samuell Boulevard; 32.793432, -96.725332
Function/Sub-function:	Commercial/Gas Station
Construction Date:	c. 1970
NRHP Eligibility:	Not Eligible
Integrity/Comments:	Resource 345C is a single story, cross-gable, Ranch House automotive repair shop. The façade features two projecting front gables that flank two service bays covered by non-historic rolling metal doors. The western front gable features a metal-frame fixed window storefront that appears to be original, though most of the glass has been covered or replaced with plywood and corrugated metal sheets. The eastern front gable contains a single service bay that is likely protected by a metal rolling door, but it was open at the time of survey and no door observed. The exterior of the resource is clad in historic-age brick, sections of which have been painted. Potentially-historic-age wooden shingles are in some gable ends. The lot is predominantly paved with some grassy lawn near the ROW. A freestanding, side gabled metal canopy is located south of the building and likely once sheltered gas pumps, though no pumps were observed at the time of survey. The Dallas County tax assessor dated Resource 345C to 1964, but that date is contradicted by historic aerial photography. The resource is not visible in a 1968 aerial and is visible in a 1972 aerial. A construction date of c. 1970 has been determined for this resource. Resource 345C retains integrity in the aspects of location and association because it has not been moved from its original site of construction and because it is readily identifiable as an automotive repair shop and has operated at such since it was built. Resource 345C also retains integrity in the aspect of design because its overall form has not been altered. Resource 345C no longer retains integrity in the aspects of materials or workmanship. Though the resource retains its historic-age exterior brick, wood shingles, and metal-framed storefront, the replacement of its three rolling doors and the conversion of the glass storefront to predominantly plywood weigh heavily on the modest resource and detract from its overall integrity of materials and workmanship. Integrity of setting has been compromised by large, non-historic construction directly across Samuell Boulevard within the resource's immediate viewshed. Though Resource 345C retains integrity of association to its architectural type and historic use, it no longer retains integrity of feeling because its gas pumps have been removed and its character-defining fixed windows have been covered with plywood. Therefore, Resource 345C is recommended not eligible for the NRHP under Criterion C. Resource 345C does not appear to have an association with significant historical events or individuals important to development of Dallas, Texas. Therefore, Resource 345C is recommended not eligible for the NRHP under Criteria A or B.

HNTB DRAFT HISTORIC SURVEY REPORT 2022

Resource 345C (HHM) [50 (HNTB)]: view of façade (south elevation), Source: Google Streetview dated June 2018

HNTB Draft HRST

Resource 345C (HHM) [50 (HNTB)]: view of façade oblique showing altered metal-frame, fixed window storefront, facing east

HNTB Draft

Resource 345C (HHM) [50 (HNTB)]: view of historic-age canopy with no gas pumps, facing northeast

HNTB Draft

Survey Date:	12/29/2022	
Resource No:	**346 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	3939 SAMUELL BLVD, 32.793778000000003/ -96.724429999999998429	
Function/ Subfunction:	Commercial	Commercial
Form:	Gas Station Service Station	
Stylistic Influence(s):	Ranch House	
Construction Date:	1967 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	Bankhead Highway (HHM, 2013), I-30 East Corridor Project (HNTB, Sept. 2022, Resource #51) (Not Individually Eligible, Not eligible)	
NRHP Eligibility:	Not eligible for NRHP	
Justification:	See HNTB survey form	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		
Integrity Notes:	See HNTB survey form	
Effect:	None	

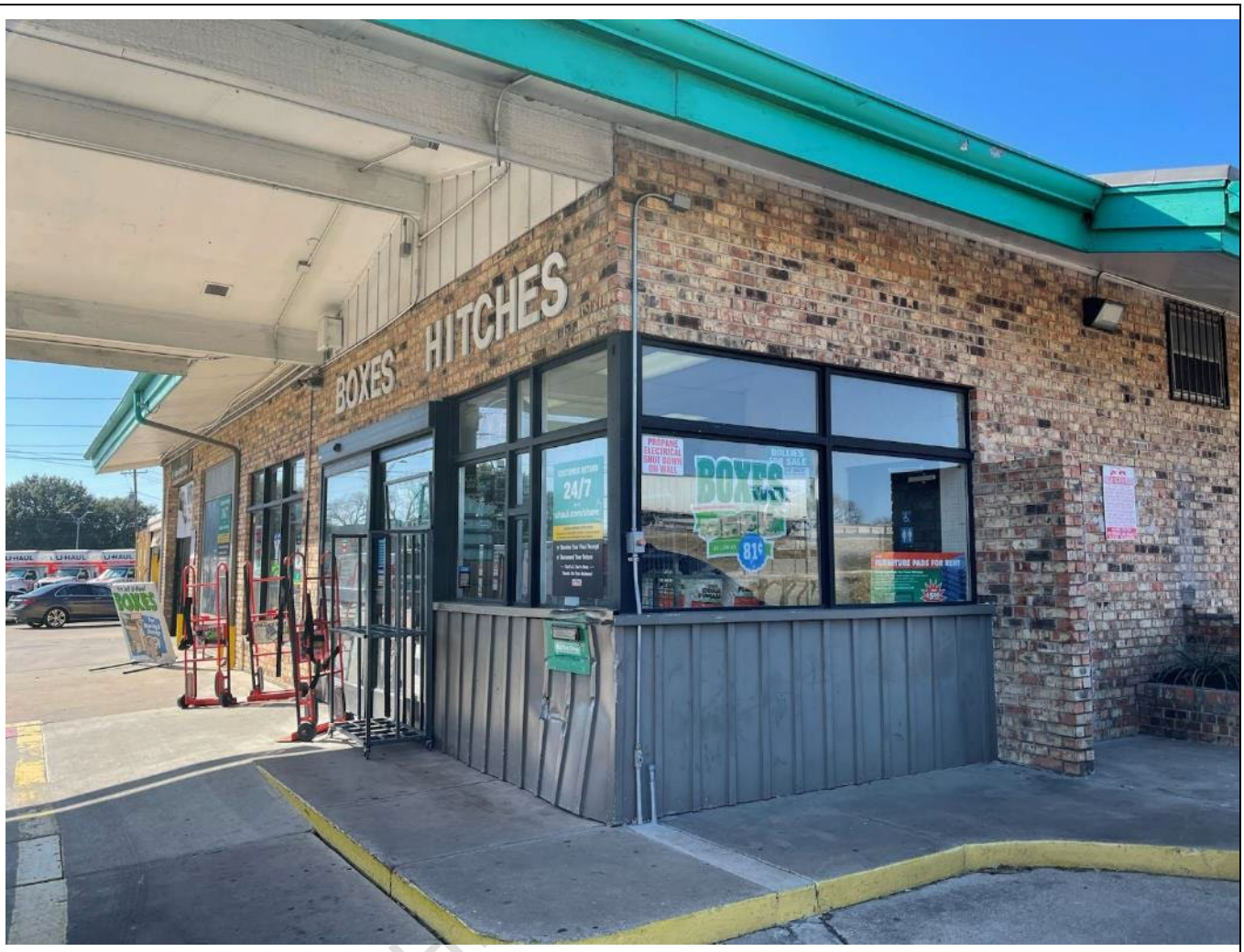
Resource No. 346	***See photos on following pages.***

Survey Date:	01/25/2022
Resource No:	346 (HHM) [51 (HNTB)]
Project Location:	Dallas
Project Name and CSJ:	I-30 East Corridor Project; 0009-11-252
Address, Lat/Long:	3939 SAMUELL BLVD [HNTB address 7015 Ferguson Road]; 32.793696, -96.724394
Function/Sub-function:	Commercial/Gas Station
Construction Date:	1967
NRHP Eligibility:	Not Eligible
Integrity/Comments:	Based on descriptions in the TxDOT historical studies report *A Field Guide to Gas Stations in Texas*, Resource 346 is a Ranch House with Canopy gas station that has been converted for use as a U-Haul rental facility. The building features a cross-gabled, asphalt shingle roof with an attached, front-gabled canopy that extends toward Ferguson Road. The area beneath the canopy contains a concrete island, but no gas pumps were present at the time of survey. The exterior is clad in flash range brick that appears to be original. All windows and doors are non-historic replacements. There are two service bays on the south end of the façade, one remains operational with a metal rolling door, the other has been enclosed with non-historic pressed board siding. Door or window openings on the southwest elevation are blocked by metal storage containers. What is visible of the openings is covered by ribbed metal. The historic-age retail space is located at the east corner of the building, and though a metal and glass corner storefront is present, it is a non-historic replacement and includes automatic sliding doors. The northeast elevation has two bricked-in door openings and a two-part brick planter. There are no openings on the rear elevation, and the historic-age brick has been painted to half-height. U-Haul branded signs and labels are applied to most elevations and the roof. The resource sits on a paved corner lot with no landscaping or fencing. Resource 346 retains integrity in the aspect of location only, because it has not been moved. Resource 346 no longer retains integrity in the aspects of materials, design, or workmanship because some window and door openings have been enclosed, and all others have been replaced with non-historic units. Integrity of setting has been compromised by large, non-historic construction directly across Samuell Boulevard within the resource's immediate viewshed. Though the resource retains its historic form, exterior brick, and canopy, the loss of its gas pumps and the replacement of its corner storefront with a non-historic unit featuring automatic sliding doors has negated the resource's integrity of feeling and association as a mid-20th century Ranch House with Canopy service station. Therefore, Resource 346 is recommended not eligible for the NRHP under Criterion C. Resource 346 does not appear to have an association with significant historical events or individuals important to development of Dallas, Texas. Therefore, Resource 346 is recommended not eligible for the NRHP under Criteria A or B.

HNTB Draft HRSR Submittal 2022

Resource 346 (HHM) [51 (HNTB)]: view of façade oblique and canopy with no gas pumps, facing northeast

HNTB Draft



Resource 346 (HHM) [51 (HNTB)]: view of non-historic replacement corner storefront, facing west

HNTB Draft

Resource 346 (HHM) [51 (HNTB)]: view of northeast elevation showing bricked-in door openings and planters

HNTB Draft

Survey Date:	12/29/2022	
Resource No:	**347 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	4015 SAMUELL BLVD, 32.793474000000003/ -96.723681999999997428	
Function/ Subfunction:	Commercial	Commercial
Form:		
Stylistic Influence(s):	See HNTB survey form	
Construction Date:	1956 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:	I-30 East Corridor Project (HNTB, Sept. 2022, Resource #52) (Not eligible)	
NRHP Eligibility:	Not eligible for NRHP	
Justification:	See HNTB survey form	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		
Integrity Notes:	See HNTB survey form	
Effect:	None	

Resource No. 347	***See photos on following pages.***

Survey Date:	01/26/2022
Resource No:	347 (HHM) [52 (HNTB)]
Project Location:	Dallas
Project Name and CSJ:	I-30 East Corridor Project; 0009-11-252
Address, Lat/Long:	4015 Samuell Boulevard; 32.793696, -96.724394
Function/Sub-function:	Commercial/Gas Station
Construction Date:	1965
NRHP Eligibility:	Not Eligible
Integrity/Comments:	Based on descriptions in the TxDOT historical studies report *A Field Guide to Gas Stations in Texas,* Resource 347 was originally a Drive-up or Curbside service station, though alterations have obscured its form. It is a small, one-story, rectangular building with a small parapet roof and pent-roofed front porch. The exterior is clad in asphalt siding, and the façade features a single door entry flanked by wood-framed, fixed windows. All but one of the windows is covered with plywood, as is the door. There are two wood-framed canopy additions to the building – one on the west elevation and one on the north elevation. Aerial photography of the resource is too grainy to date either canopy, but neither is on a 1981 aerial, so it can be inferred that neither is of historic age. The resource is surrounded by a patchwork of privacy fencing making survey of all elevations difficult. From the ROW, a single door with metal security bars was visible on the west elevation. A door was also visible on the north elevation, but it was too dark under the canopy to discern age or materials. No window or door openings were observed on the east elevation. Also present on the property was a manufactured building that did not appear of historic age. At the time of survey, Resource 347 appeared to be abandoned. Resource 347 retains integrity in the aspect of location only, because it has not been moved. Resource 347 retains no other aspects of integrity. The two non-historic canopy additions have compromised integrity of design. Because the storefront windows and door are covered by plywood, their age and materials are unknown. With historic-age asbestos siding as the only definitive historic-age material visible, Resource 347 cannot convey integrity of materials or workmanship. Integrity of setting has been compromised by large, non-historic construction directly across Samuell Boulevard within the resource's immediate viewshed. Due to the lack of visible historic-age material and the absence of any known historic or contemporary use, Resource 347 lacks integrity of feeling or association to any historic time period or architectural type. Therefore, Resource 347 is recommended not eligible for the NRHP under Criterion C. Resource 347 does not appear to have an association with significant historical events or individuals important to development of Dallas, Texas. Therefore, Resource 347 is not recommended eligible for the NRHP under Criteria A or B.

HNTB Draft HSSR October 2022

Resource 347 (HHM) [52 (HNTB)]: view of façade (south elevation), non-historic canopy visible on west elevation

HNTB Draft

Resource 347 (HHM) [52 (HNTB)]: view of rear oblique showing non-historic canopies, facing southeast

HNTB Draft HRSR

Survey Date:	1/13/2023	
Resource No:	**348A (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	4311 SAMUELL BLVD A, 32.794131/ -96.72004699999999472	
Function/ Subfunction:	Commercial	Warehouse
Form:	Rectangular	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1974	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 348A (8A329C4E-FC36-49A0-A9F8-2E91DE9EDF74.jpeg)

Survey Date:	1/13/2023	
Resource No:	**348B (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	4311 SAMUELL BLVD B, 32.794054000000003/ -96.720971	
Function/ Subfunction:	Commercial	Warehouse
Form:	Rectangular	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1974	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 348B	***See photos under Resource 348A on above pages.***

Survey Date:	1/13/2023	
Resource No:	**348C (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	4311 SAMUELL BLVD C, 32.793841999999998/ -96.72009599999999870	
Function/ Subfunction:	Commercial	Warehouse
Form:	Rectangular	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1974	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 348C (2782091B-E8E9-42E8-8E55-67481B40C566.jpeg)

Survey Date:	1/13/2023	
Resource No:	**348D (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	4311 SAMUELL BLVD D, 32.793818999999999/ -96.72084099999999368	
Function/ Subfunction:	Commercial	Warehouse
Form:	Rectangular	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1974	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 348D	***See photos under Resource 348C on above pages.***

Survey Date:	1/13/2023	
Resource No:	**348E (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	4311 SAMUELL BLVD E, 32.793728999999999/ -96.71983299999999467	
Function/ Subfunction:	Commercial	Warehouse
Form:	Rectangular	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1974	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 348E (2782091B-E8E9-42E8-8E55-67481B40C566.jpeg)

Survey Date:	1/13/2023	
Resource No:	**348F (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	4311 SAMUELL BLVD F, 32.793680000000002/ -96.72093300000000266	
Function/ Subfunction:	Commercial	Warehouse
Form:	Rectangular	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1974	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 348F	***See photos under Resource 348E on above pages.***

Survey Date:	12/29/2022	
Resource No:	**349 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	4529 SAMUELL BLVD, 32.793733000000003/ -96.717601000000002316	
Function/ Subfunction:	Commercial	Gas station
Form:	Box with Canopy	
Stylistic Influence(s):	Commercial	
Construction Date:	1935 (In field estimate)	
Occupants/ History:	/ Possibly historically affiliated with Magnolia, Texas Pacific, or Thurber gas co. (Field Guide to Gas Stations in Texas (HHM, 2016))	
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Individually eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	Criterion C, Architecture, Local level of significance	
Alterations/Additions:	One overhead door replaced, Gas pumps removed	
Integrity Notes:		
Effect:	None	

Resource No. 349 (BF2891E4-34B0-4D5C-A48E-7374F7C3EF6E.jpeg)

Resource No. 349 (1D6308FA-AA11-440D-A4EE-0067B871B581.jpeg)	

Survey Date:	12/29/2022	
Resource No:	**350A (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	4601 SAMUELL BLVD A, 32.793816/ -96.717291000000003320	
Function/ Subfunction:	Commercial	Single-family house
Form:	Irregular	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1936 (Appraisal district)	
Occupants/ History:	Carathers Wiley R (1945 as 4501)/ (Ancestry (https://www.ancestry.com/family-tree/person/tree/185246683/person/392441567621/facts))	
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks integrity	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	All windows replaced, Porch enclosed	Multiple additions
Integrity Notes:	Alterations within period of significance, Visibility limited	
Effect:	None	

Resource No. 350A (8FEF019B-0E45-4797-BDBD-7939D5C3A036.jpeg)

Resource No. 350A (011C16ED-1D64-4EAC-977B-7C63147A593F.jpeg)	
Resource No. 350A (473DEBFE-3E51-4933-8B76-55E9C7940045.jpeg)	

Survey Date:	12/29/2022	
Resource No:	**350B (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	4601 SAMUELL BLVD B, 32.794063999999999/ -96.717374000000007315	
Function/ Subfunction:	Commercial	Auto Sales/Service
Form:	Rectangular	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1936 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance, Lacks integrity	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:	Doors replaced	
Integrity Notes:		
Effect:	None	

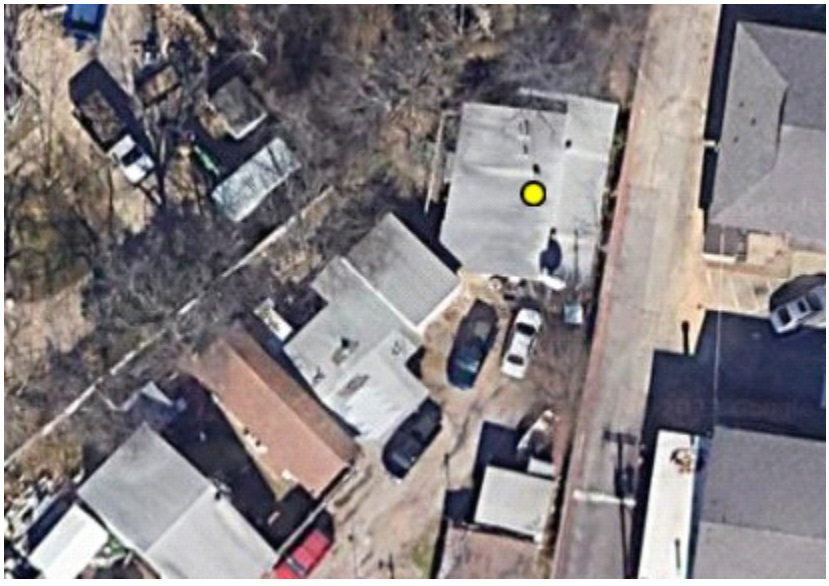
Resource No. 350B (9411B89F-E20C-4F58-9F45-F5E6B01B5017.jpeg)

Resource No. 350B (70605C60-B412-4197-A989-4ECA540893D6.jpeg)	

Survey Date:	12/29/2022	
Resource No:	**350C (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	4601 SAMUELL BLVD C, 32.794016999999997/ -96.717123999999998314	
Function/ Subfunction:	Commercial	Garage
Form:	Irregular	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1936 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance, Lacks integrity	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		Multiple additions
Integrity Notes:		
Effect:	None	

Resource No. 350C (CBFECB23-DC98-43B2-A26C-B16210EA391F.jpeg)

Survey Date:	1/13/2023	
Resource No:	**350D (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	4601 SAMUELL BLVD D, 32.794272999999997/ -96.71708427	
Function/ Subfunction:	Residential	Shed
Form:	Rectangular	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1960 (In field estimate)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		
Integrity Notes:	Limited visibility	
Effect:	None	

Resource No. 350D (4601 Samuell D.jpg)	

Survey Date:	12/29/2022	
Resource No:	**351 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	7310 RENA RD, 32.794320999999997/ -96.717556999999999321	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	Minimal Traditional	
Construction Date:	1948 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 351 (BD443B8A-05C3-4C71-A4AE-23398B6EB49B.jpeg)

Resource No. 351 (D1411A01-139B-47C0-BD1E-E32DFCE2A5BB.jpeg)	

Survey Date:	12/29/2022	
Resource No:	**352A (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	4611 SAMUELL BLVD A, 32.794246000000001/ -96.716324319	
Function/ Subfunction:	Residential	Mid-rise apartment complex
Form:	Multiple detached units	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1964 (Appraisal district)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 352A (ED377217-98EF-424B-918B-28572C6E1163.jpeg)

Resource No. 352A (8A389E55-D7AC-4923-9FEB-8372452DB3AF.jpeg)	

Survey Date:	1/13/2023	
Resource No:	**352B (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	4611 SAMUELL BLVD B, 32.794024999999998/ -96.71644499999999374	
Function/ Subfunction:	Residential	Mid-rise apartment complex
Form:	Multiple detached units	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1964	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 352B (8A389E55-D7AC-4923-9FEB-8372452DB3AF.jpeg)

Survey Date:	1/13/2023	
Resource No:	**352C (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	4611 SAMUELL BLVD C, 32.793790999999999/ -96.71668099999999473	
Function/ Subfunction:	Residential	Mid-rise apartment complex
Form:	Multiple detached units	
Stylistic Influence(s):	No stylistic influences visible	
Construction Date:	1964	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Not eligible for NRHP	
Justification:	Lacks significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	N/A, N/A, N/A	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 352C	***See photos under Resource 352B on above pages.***

Survey Date:	12/29/2022	
Resource No:	**353A (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	4645 SAMUELL BLVD A, 32.793812000000003/ -96.715658000000005318	
Function/ Subfunction:	Health Care	Office
Form:	Irregular	
Stylistic Influence(s):	Mid-century Modern	
Construction Date:	1960 (Appraisal district)	
Occupants/ History:	Various physicians and psychiatrics (1965)	
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Individually eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Health/Medicine, Local level of significance	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 353A (786DFEA6-B277-4C1B-9336-4F81065D19F8.jpeg)

Resource No. 353A (597F61E0-7D1F-43EB-ADCC-8036F43623BD.jpeg)	
Resource No. 353A (A2690B13-C3D6-420C-A4C5-BBC6E322E1D2.jpeg)	

Survey Date:	12/29/2022	
Resource No:	**353B (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	4645 SAMUELL BLVD B, 32.794117999999997/ -96.715401313	
Function/ Subfunction:	Health Care	Office
Form:	Box on piloti	
Stylistic Influence(s):	Mid-century Modern	
Construction Date:	1965 (In field estimate)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Individually eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	Criterion A, Criterion C, Architecture, Health/Medicine, Local level of significance	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 353B (B7A6C340-15D4-4158-9F3B-B2F0669E2065.jpeg)

Resource No. 353B (1FCC4843-8DB0-4691-AC8A-9FDA36EEB058.jpeg)	
Resource No. 353B (CEB5A25D-7E70-486C-AD21-D0F27FB0AEDA.jpeg)	

Survey Date:	12/29/2022	
Resource No:	**354 (HHM)**	
Project Location:	Dallas County, Dallas District	
Project Name, CSJ:	I-30 East: I-45 to Ferguson Road; 0009-11-252 and 0009-11-251	
Address, Lat/Long:	4721 SAMUELL BLVD, 32.79354/ -96.714534999999998317	
Function/ Subfunction:	Residential	Single-family house
Form:	Bungalow	
Stylistic Influence(s):	Tudor Revival	
Construction Date:	1930 (In field estimate)	
Occupants/ History:		
Prior Designation:		
Prior Documentation:		
NRHP Eligibility:	Individually eligible for NRHP	
Justification:	Retains sufficient integrity & significance	
NR District, Status:	N/A, N/A	
Criteria, Notes:	Criterion C, Architecture, Local level of significance	
Alterations/Additions:		
Integrity Notes:		
Effect:	None	

Resource No. 354 (7F1408AB-26F7-48E7-8A34-499D40504147.jpeg)

Resource No. 354 (5791975E-296B-4622-9AE9-A51D37CB56BB.jpeg)	
Resource No. 354 (3200984D-04C3-4A61-A4D3-20BE3012B501.jpeg)	